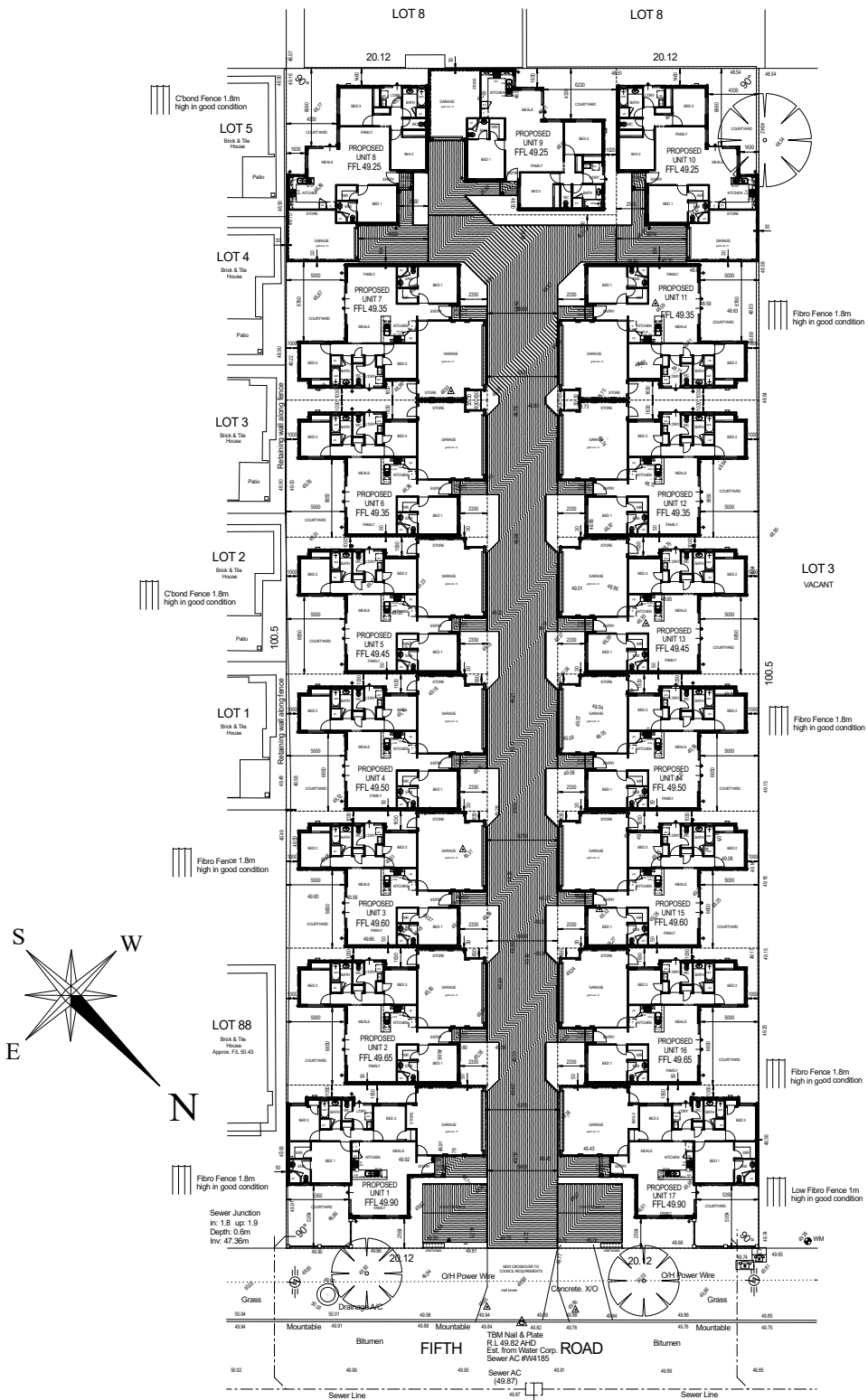
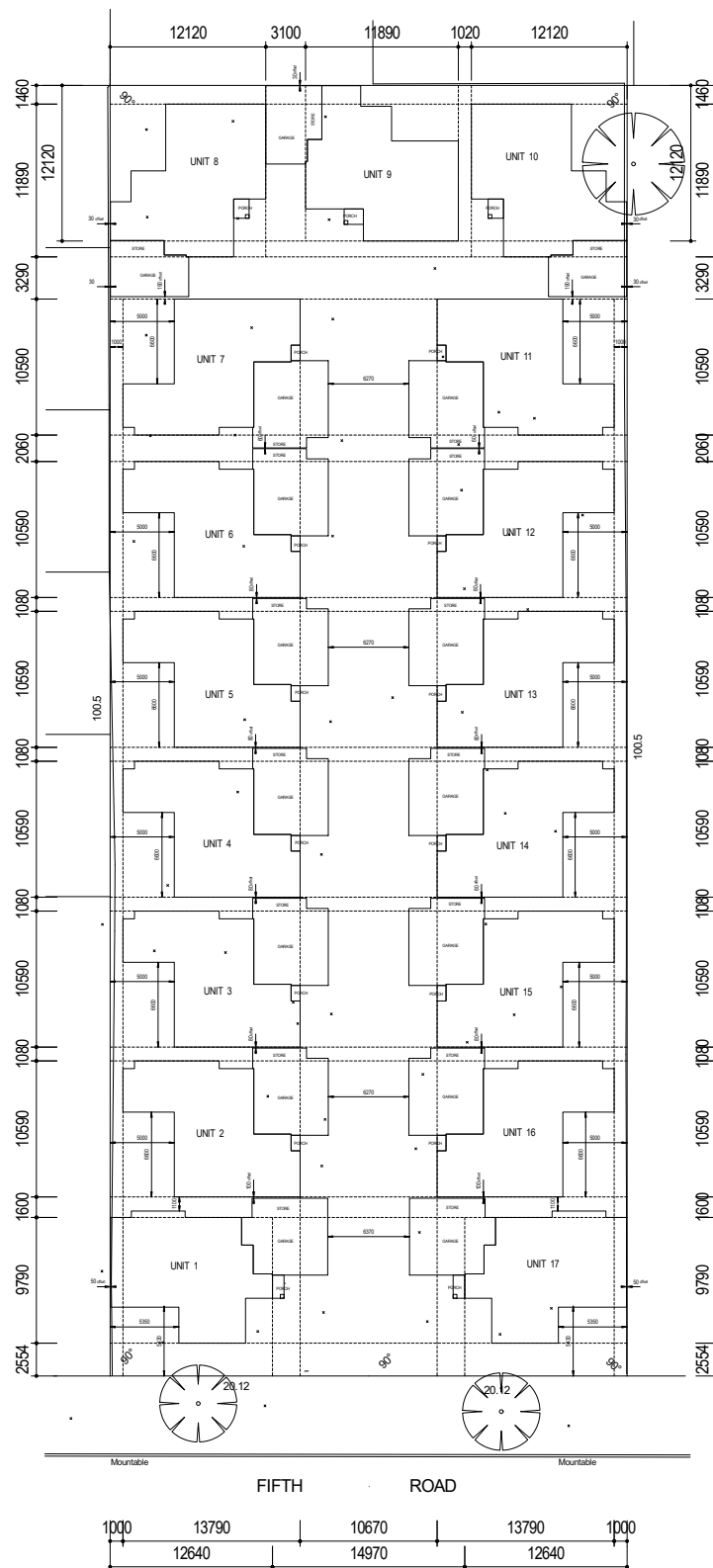




SITE PLAN 1

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

Scale 1:100



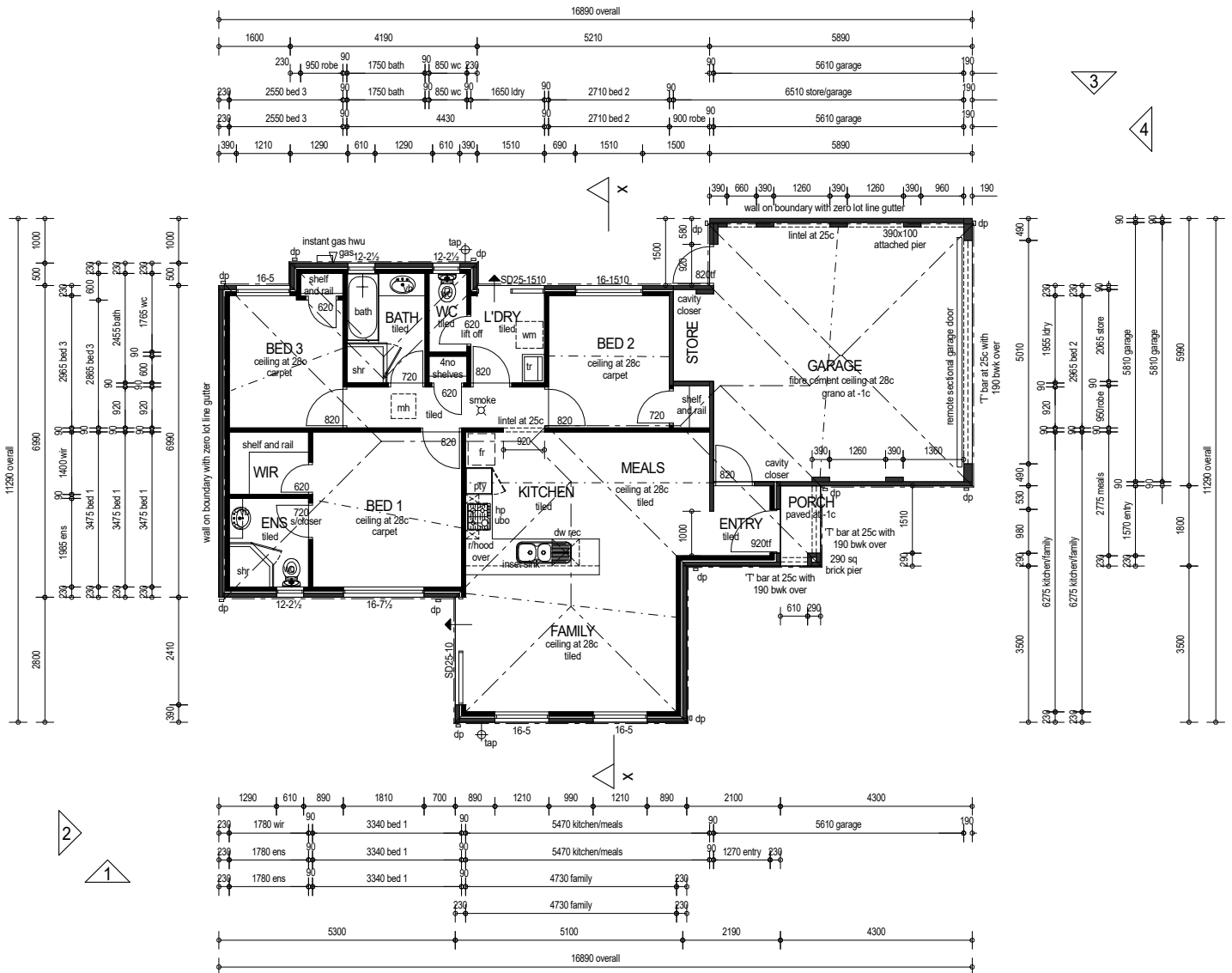
SETOUT PLAN

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

Scale 1:100

Note:
 Face brick to be 290x162x90 laid in one third bond
 Carpet to all bedrooms and robes
 450sq tiles to kitchen, family, meals and entry
 Vertical blinds to all windows (excluding sliding doors)

HOUSE	94.62 m²
GARAGE/STORE	36.69 m²
PORCH	1.62 m²
TOTAL	132.93 m²
PERIMETER	45.76 m

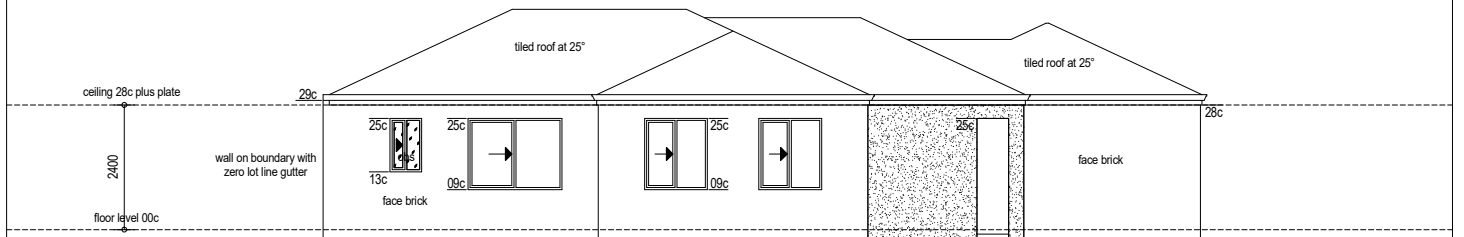


UNIT 1 FLOOR PLAN

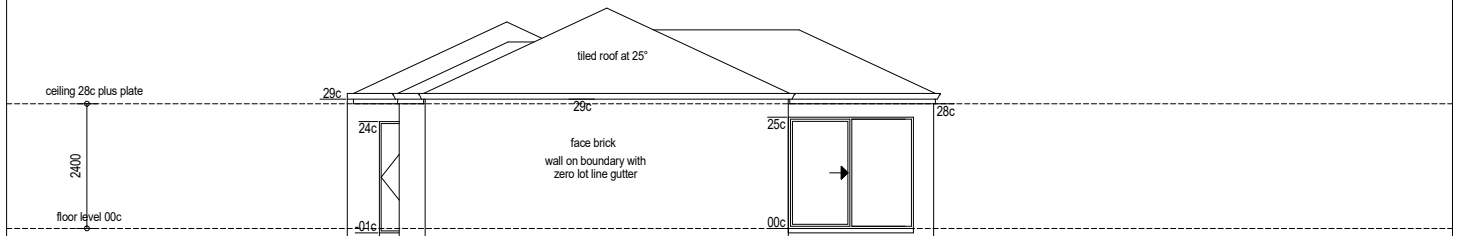
PROPOSED DEVELOPMENT
 18-20 Fifth Road, ARMADALE

Scale 1:100

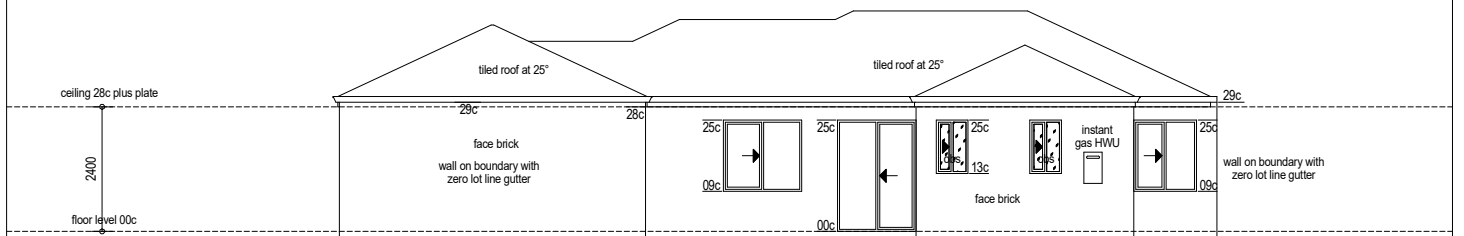
NOTE: ALL INTERNAL DIMENSIONS ARE TO BRICK SIZE ONLY NOT FINISHED SIZES



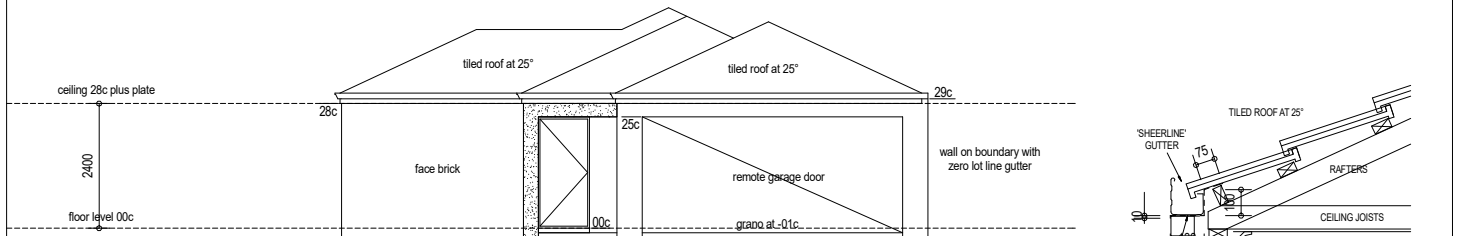
ELEVATION 1



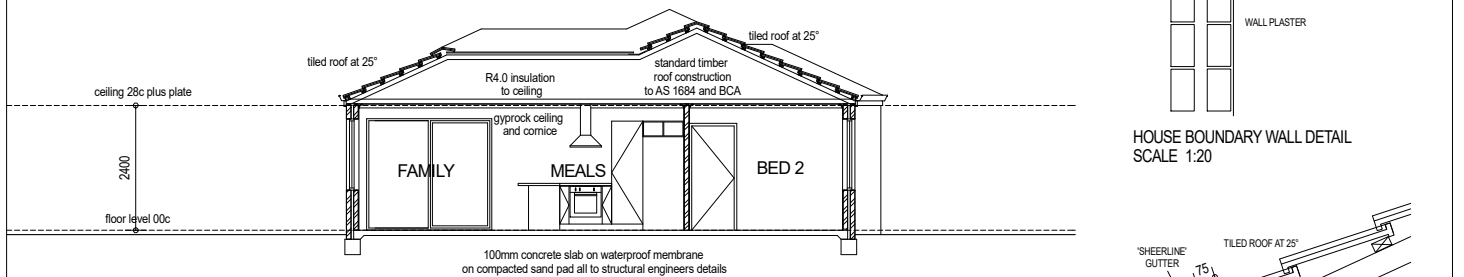
ELEVATION 2



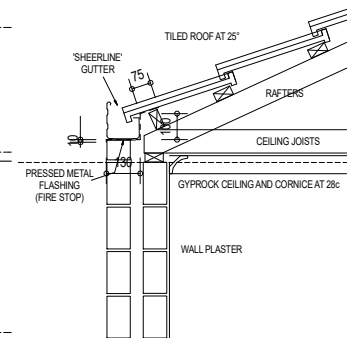
ELEVATION 3



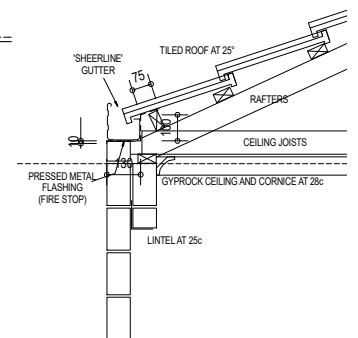
ELEVATION 4



SECTION X-X



HOUSE BOUNDARY WALL DETAIL
SCALE 1:20

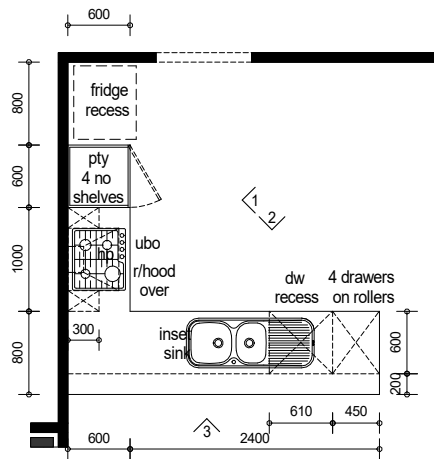


GARAGE BOUNDARY WALL DETAIL
SCALE 1:20

UNIT 1 ELEVATIONS

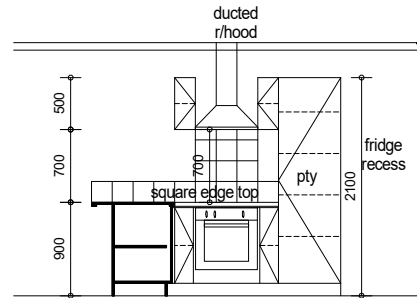
PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

Scale 1:100

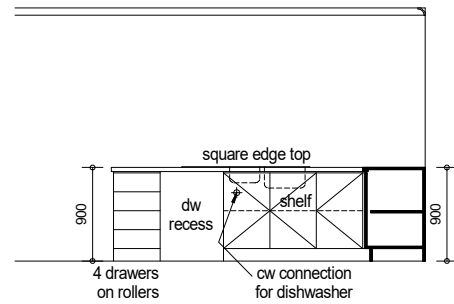


KITCHEN LAYOUT

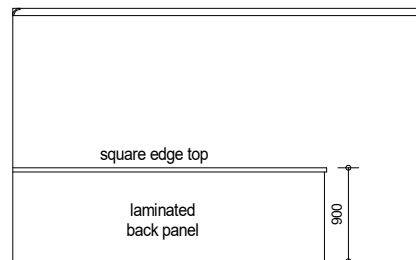
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



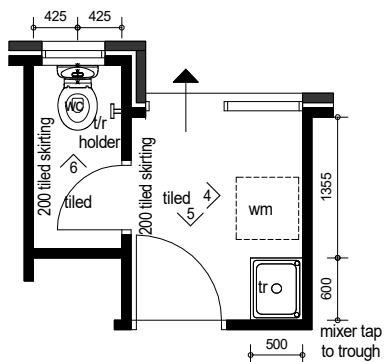
ELEVATION 1



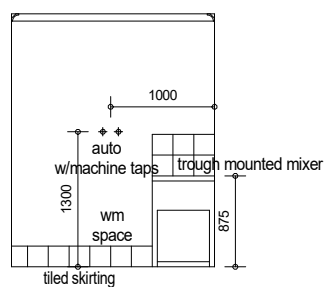
ELEVATION 2



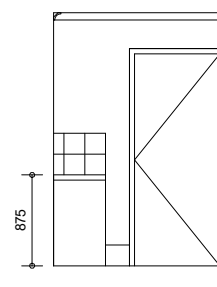
ELEVATION 3



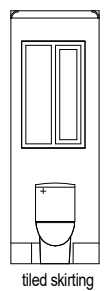
LAUNDRY/WC LAYOUT



ELEVATION 4

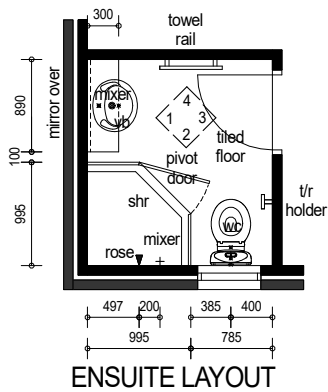


ELEVATION 5

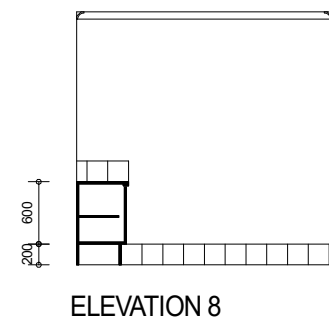
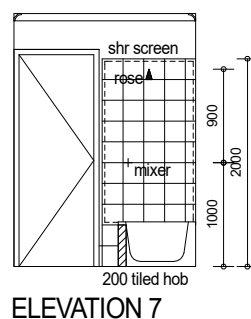
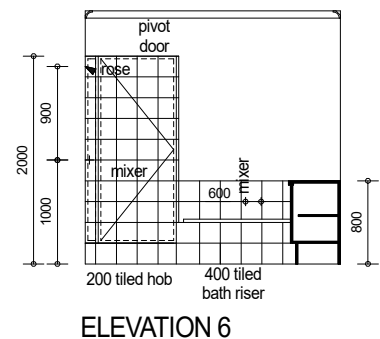
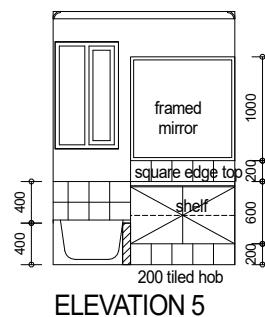
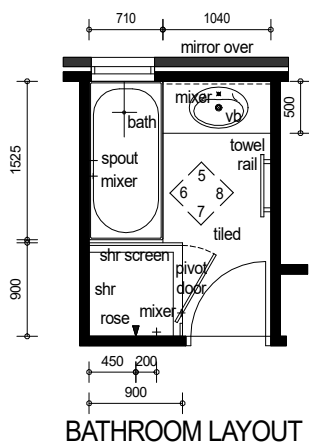
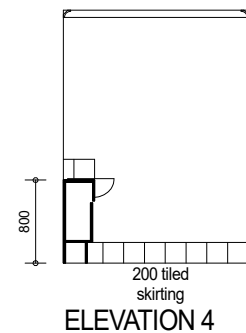
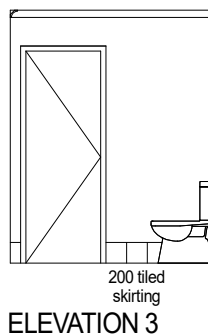
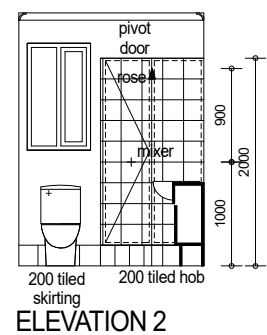
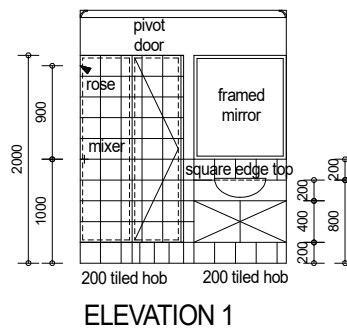


ELEVATION 6

UNIT 1 INTERNALS 1



NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



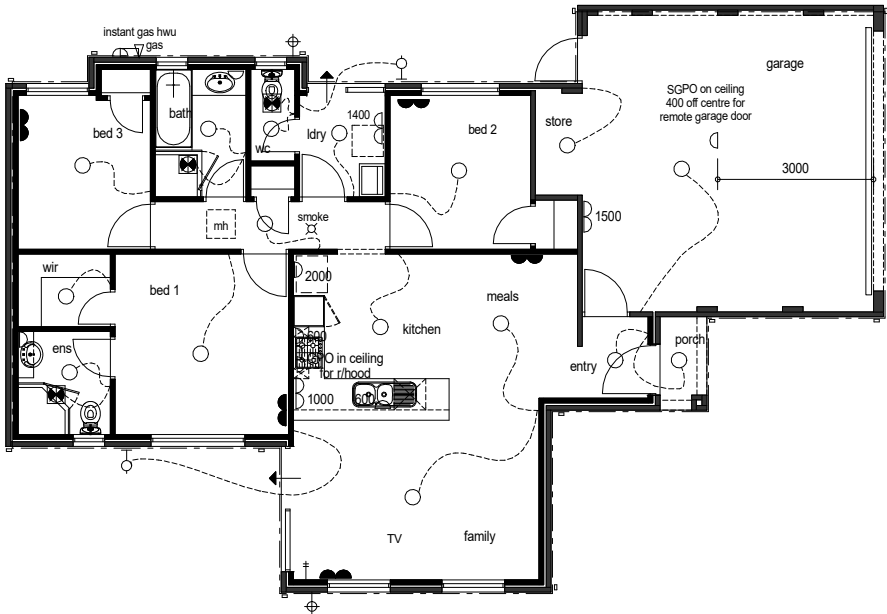
UNIT 1 INTERNALS 2

⊔	WALL LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⊠	EXHAUST FAN (FLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS CONNECTION POINT
●	CEILING LIGHT (FLUORO BULB - 12W = 60W HALOGEN)	⊠	EXHAUST FAN (UNFLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS NEGUS POINT
①	CEILING LIGHT (FLUORO BULB - 15W = 75W HALOGEN)	⊠	IXL TASTIC 3 IN 1	□ _{cv}	CEILING VENT
○	CEILING LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⊠	SINGLE GPO 300 ABOVE FL.	≡	WALL VENT
⊙	RECESSED DOWNLIGHT (LED = 15W)	⊠	DOUBLE GPO 300 ABOVE FL.	→ PH	PHONE POINT
—	FLUORO LIGHT SINGULAR 1200 (36W)	⊠	SINGLE GPO 900 ABOVE FL. (OR AS NOTED)	→ TV	TV POINT
⊠	WALL EXHAUST FAN	⊠	DOUBLE GPO 900 ABOVE FL. (OR AS NOTED)	⊠	SMOKE DETECTOR HARD WIRED TO AUST. STANDARD 3786

ARTIFICIAL LIGHTING REQUIREMENTS

HOUSE MAXIMUM WATTAGE ALLOWED = (85.24m² x 5W) = 426W
GARAGE & STORE MAXIMUM WATTAGE ALLOWED = (34.45m² x 3W) = 103W
BALCONY & ALFRESCO MAXIMUM WATTAGE ALLOWED = (00.00m² x 4W) = 000W
EXTERNAL LIGHTING (INCL PORCH) (MINIMUM 40 Lumens/Watt)

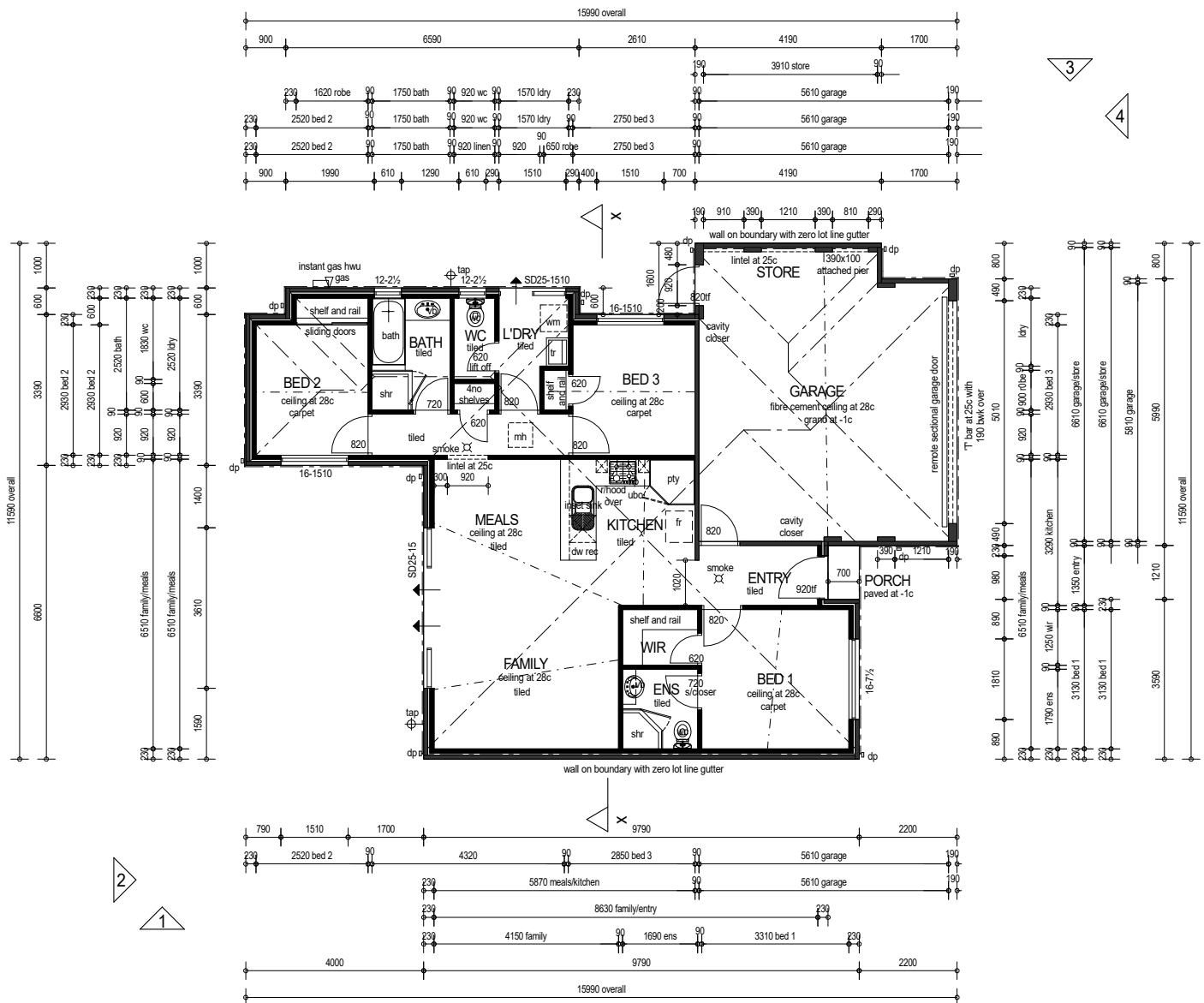
NOTE:
Light and fan positions may vary slightly to avoid roof structure over



UNIT 1
ELECTRICAL PLAN

Note:
 Face brick to be 290x162x90 laid in one third bond
 Carpet to all bedrooms and robes
 450sq tiles to kitchen, family, meals and entry
 Vertical blinds to all windows (excluding sliding doors)

HOUSE	96.05 m²
GARAGE/STORE	37.91 m²
PORCH	0.85 m²
TOTAL	134.81 m²
PERIMETER	48.76 m



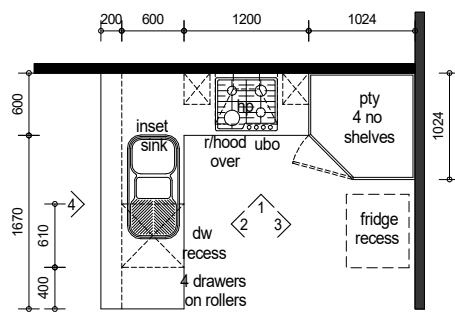
UNIT 2 FLOOR PLAN

PROPOSED DEVELOPMENT
 18-20 Fifth Road, ARMADALE

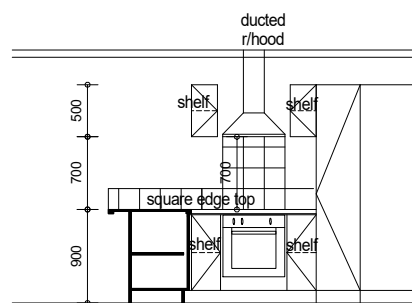
Scale 1:100

NOTE: ALL INTERNAL DIMENSIONS ARE TO BRICK SIZE ONLY NOT FINISHED SIZES

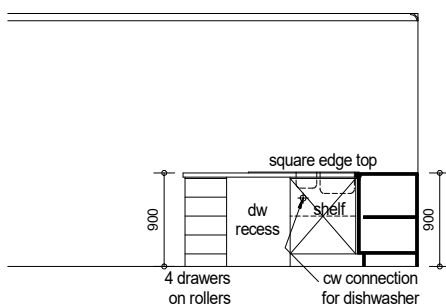
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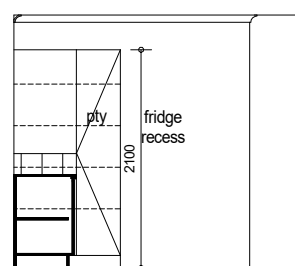
KITCHEN LAYOUT



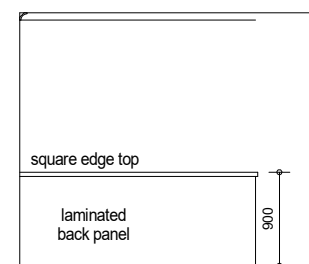
ELEVATION 1



ELEVATION 2

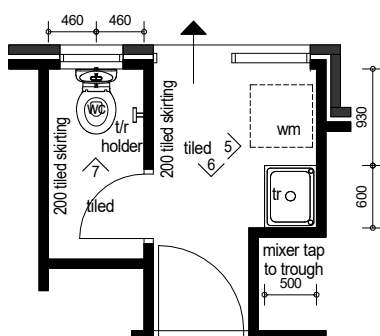


ELEVATION 3

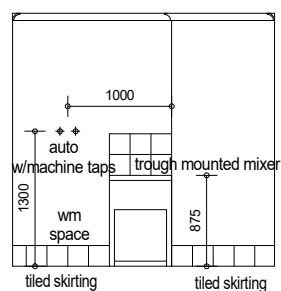


ELEVATION 4

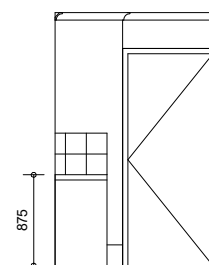
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



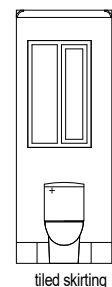
LAUNDRY/WC LAYOUT



ELEVATION 5

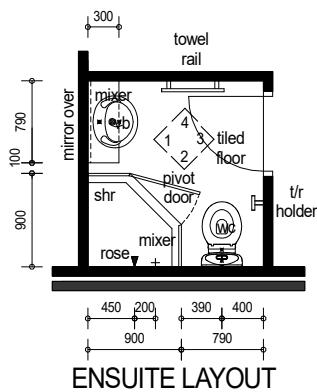


ELEVATION 6

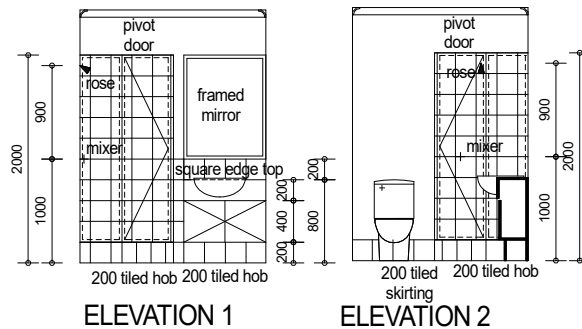


ELEVATION 7

UNIT 2 INTERNALS 1

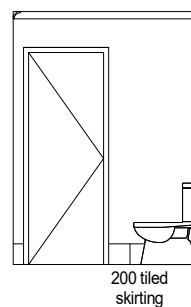


NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS

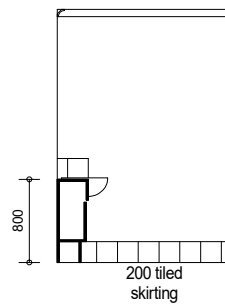


ELEVATION 1

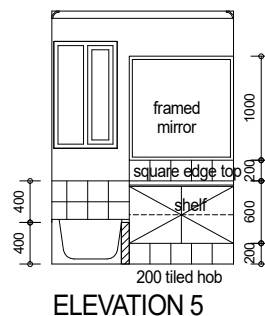
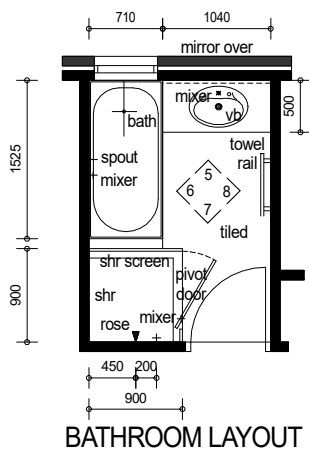
ELEVATION 2



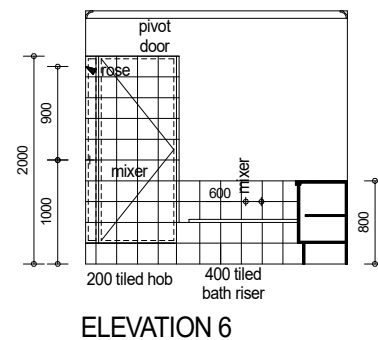
ELEVATION 3



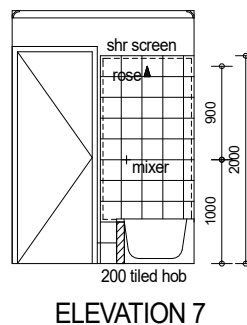
ELEVATION 4



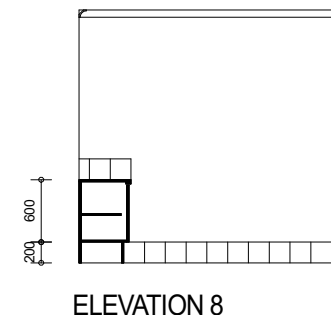
ELEVATION 5



ELEVATION 6



ELEVATION 7



ELEVATION 8

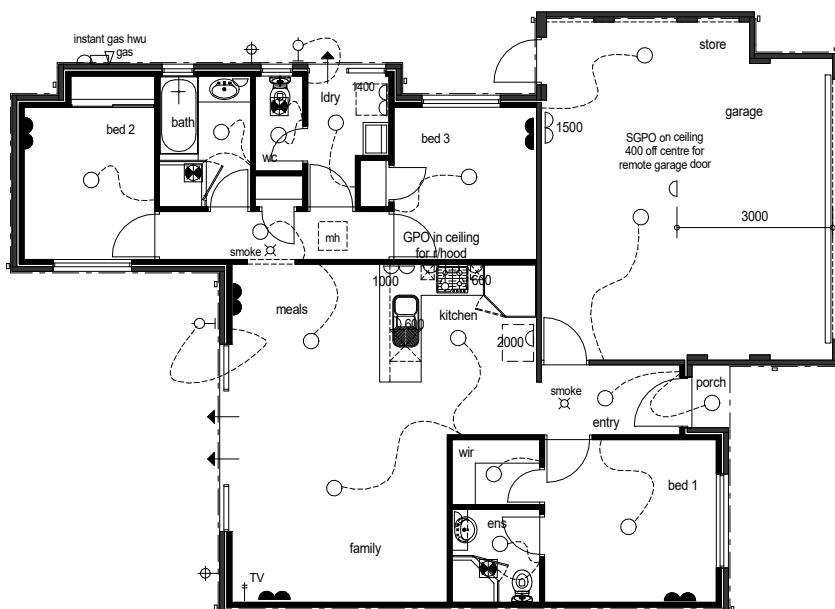
UNIT 2 INTERNALS 2

⊖	WALL LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⊗	EXHAUST FAN (FLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS CONNECTION POINT
●	CEILING LIGHT (FLUORO BULB - 12W = 60W HALOGEN)	⊗	EXHAUST FAN (UNFLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS NEGUS POINT
⊙	CEILING LIGHT (FLUORO BULB - 15W = 75W HALOGEN)	⊗	IXL TASTIC 3 IN 1	□ _{cv}	CEILING VENT
○	CEILING LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⌒	SINGLE GPO 300 ABOVE FL.	WY	WALL VENT
⊙	RECESSED DOWNLIGHT (LED = 15W)	⌒	DOUBLE GPO 300 ABOVE FL.	→ PH	PHONE POINT
—	FLUORO LIGHT SINGULAR 1200 (36W)	⌒	SINGLE GPO 900 ABOVE FL. (OR AS NOTED)	→ TV	TV POINT
⊗	WALL EXHAUST FAN	⌒	DOUBLE GPO 900 ABOVE FL. (OR AS NOTED)	⊗	SMOKE DETECTOR HARD WIRED TO AUST. STANDARD 3786

ARTIFICIAL LIGHTING REQUIREMENTS

<u>HOUSE MAXIMUM WATTAGE ALLOWED = (86.14m² x 5W) = 430W</u>
<u>GARAGE & STORE MAXIMUM WATTAGE ALLOWED = (35.80m² x 3W) = 107W</u>
<u>BALCONY & ALFRESCO MAXIMUM WATTAGE ALLOWED = (00.00m² x 4W) = 000W</u>
<u>EXTERNAL LIGHTING (INCL PORCH) (MINIMUM 40 Lumens/Watt)</u>

NOTE:
Light and fan positions may vary slightly to avoid roof structure over



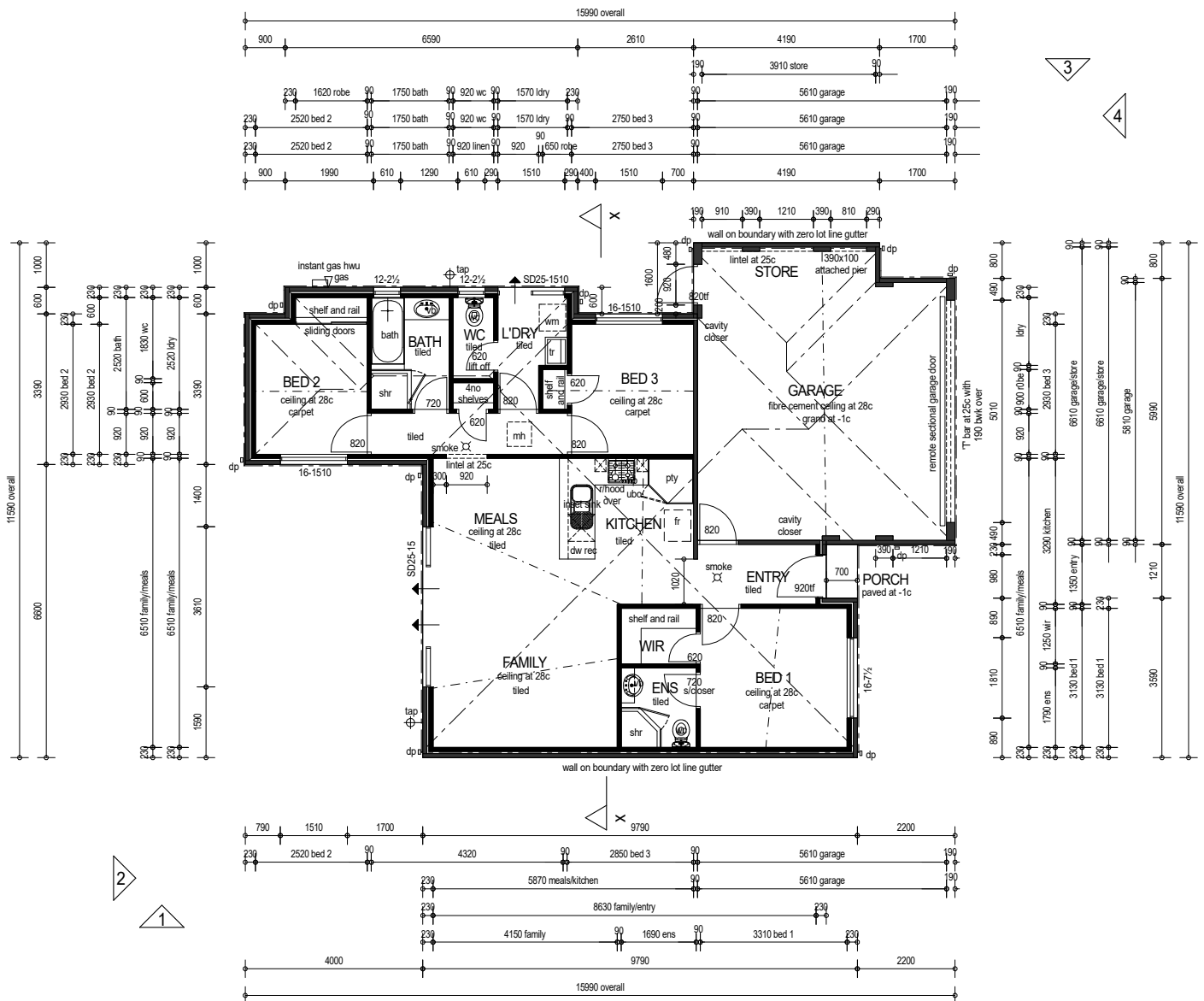
UNIT 2 ELECTRICAL PLAN

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

Scale 1:100

Note:
 Face brick to be 290x162x90 laid in one third bond
 Carpet to all bedrooms and robes
 450sq tiles to kitchen, family, meals and entry
 Vertical blinds to all windows (excluding sliding doors)

HOUSE	96.05 m²
GARAGE/STORE	37.91 m²
PORCH	0.85 m²
TOTAL	134.81 m²
PERIMETER	48.76 m

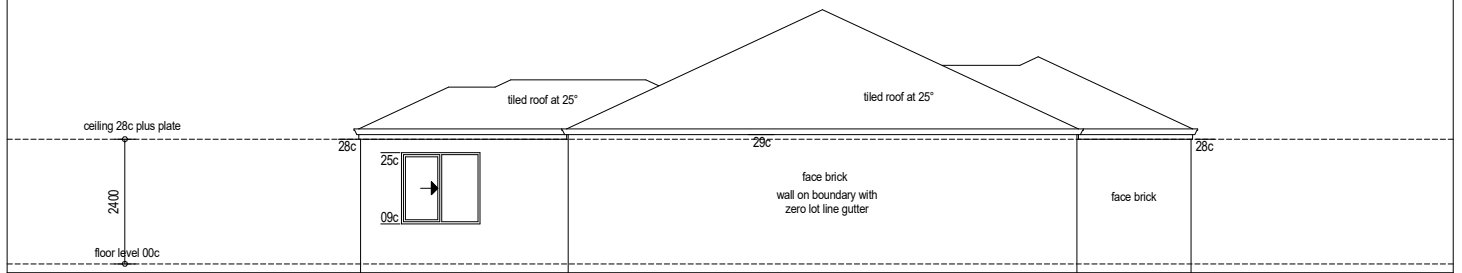


UNIT 3 FLOOR PLAN

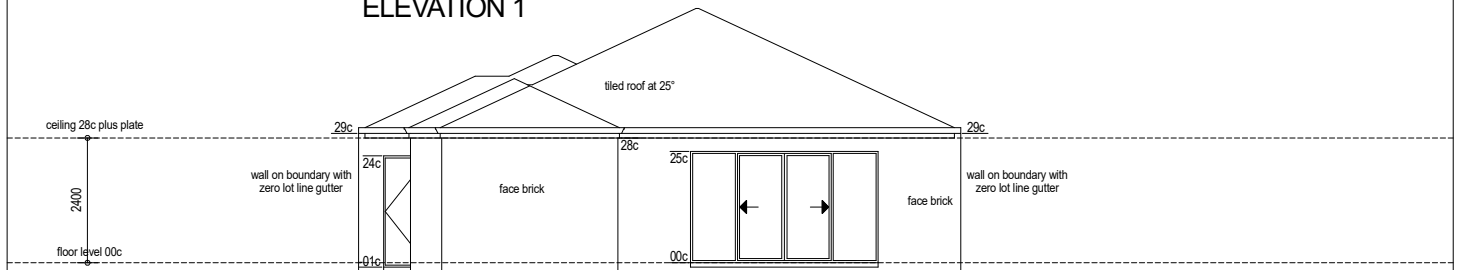
PROPOSED DEVELOPMENT
 18-20 Fifth Road, ARMADALE

Scale 1:100

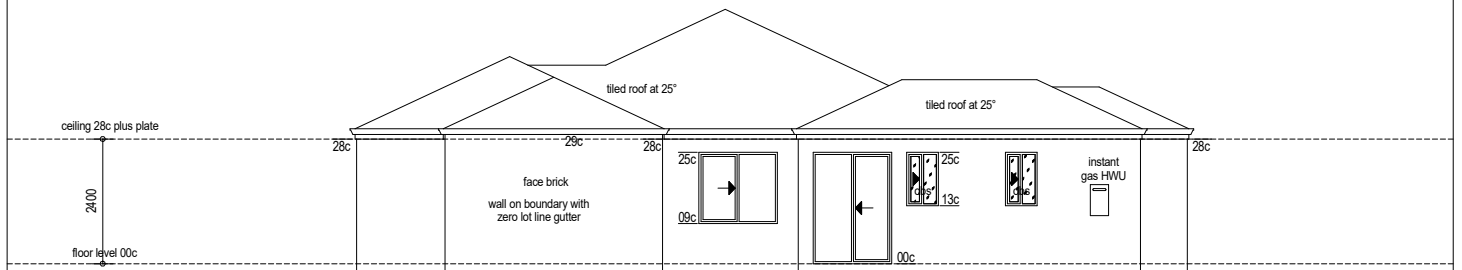
NOTE: ALL INTERNAL DIMENSIONS ARE TO BRICK SIZE ONLY NOT FINISHED SIZES



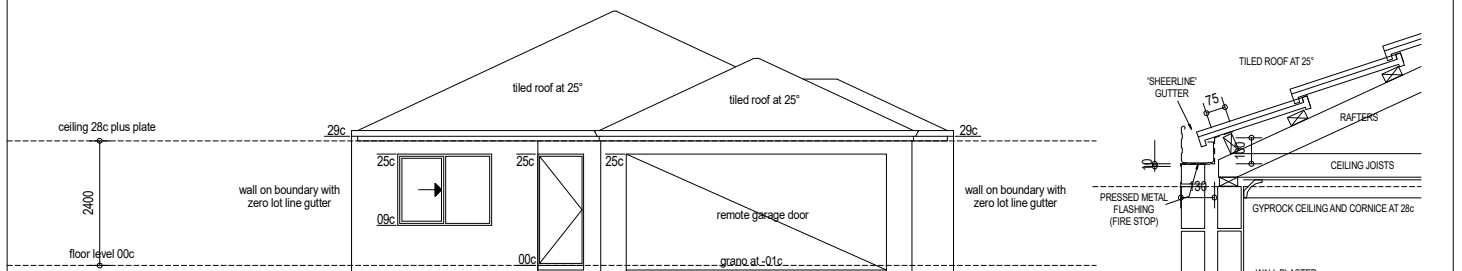
ELEVATION 1



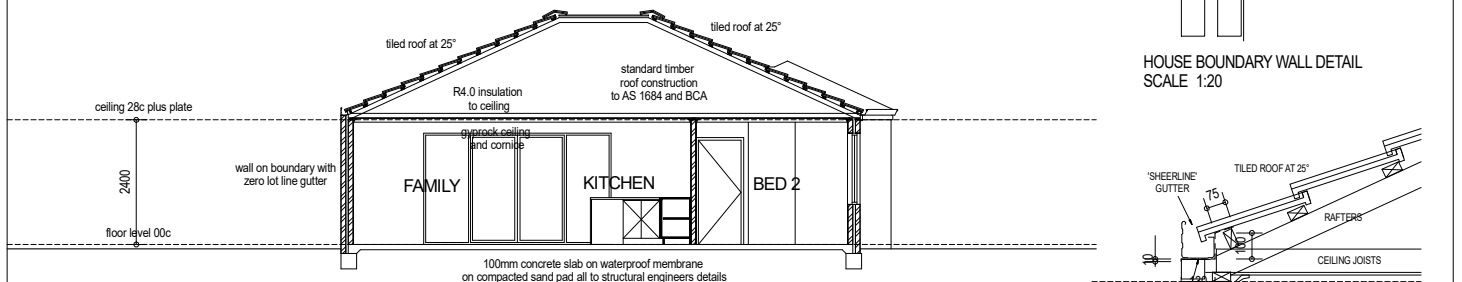
ELEVATION 2



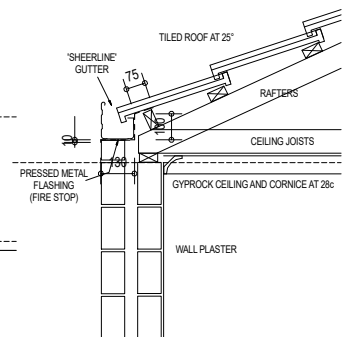
ELEVATION 3



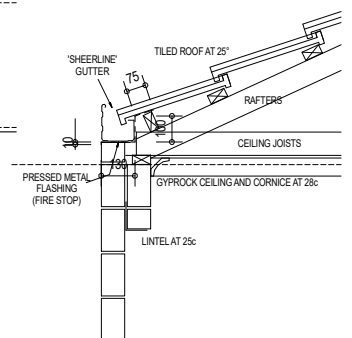
ELEVATION 4



SECTION X-X



HOUSE BOUNDARY WALL DETAIL
SCALE 1:20

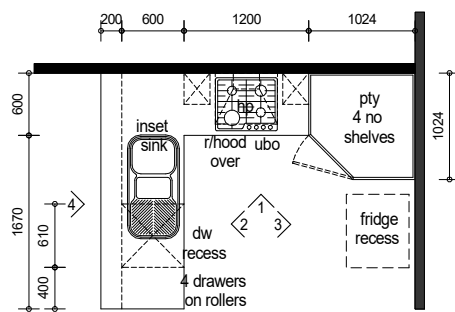


GARAGE BOUNDARY WALL DETAIL
SCALE 1:20

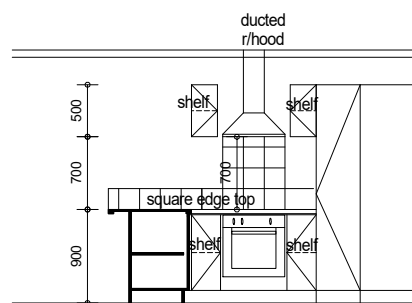
UNIT 3 ELEVATIONS

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

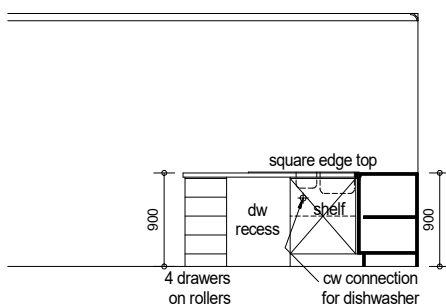
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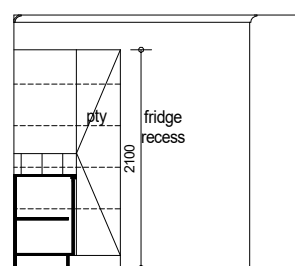
KITCHEN LAYOUT



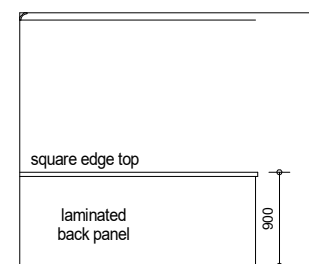
ELEVATION 1



ELEVATION 2

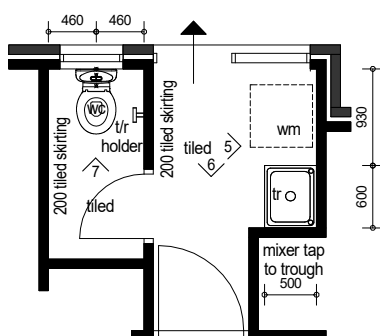


ELEVATION 3

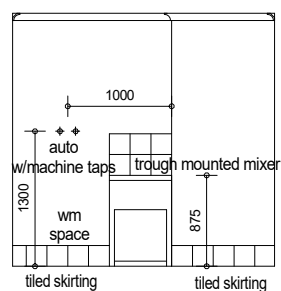


ELEVATION 4

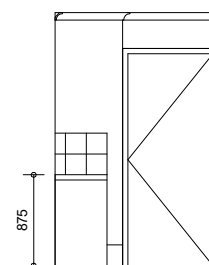
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



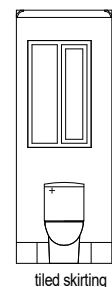
LAUNDRY/WC LAYOUT



ELEVATION 5

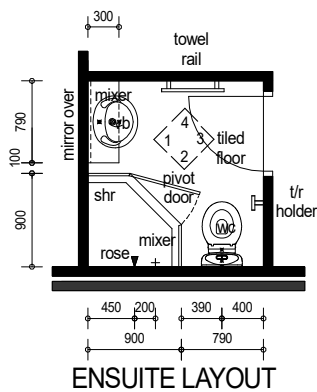


ELEVATION 6

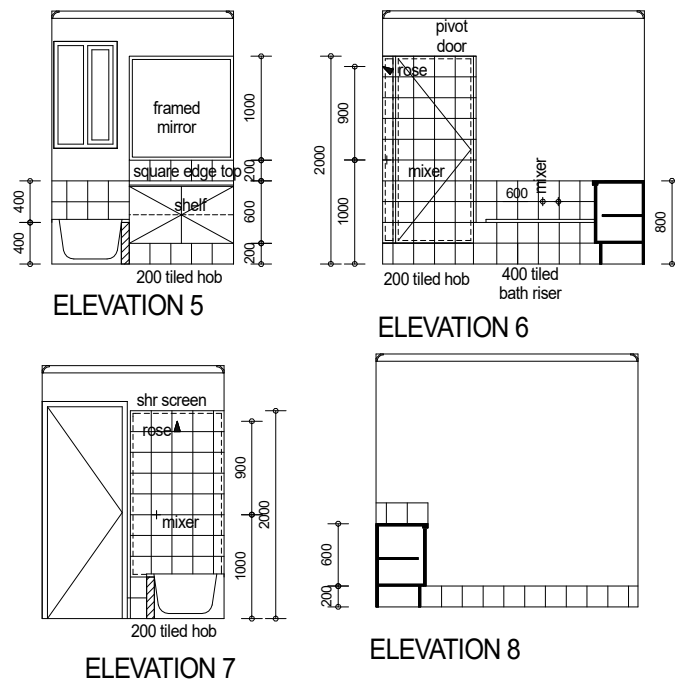
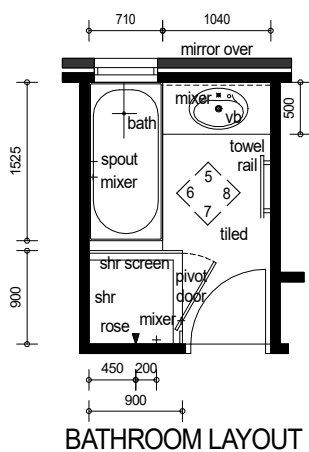
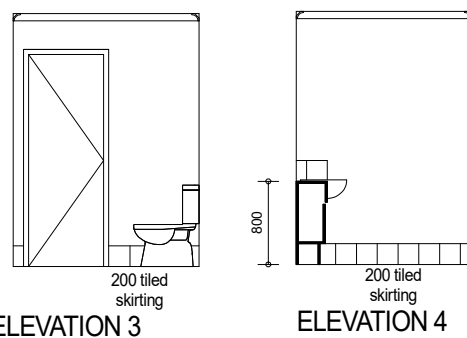
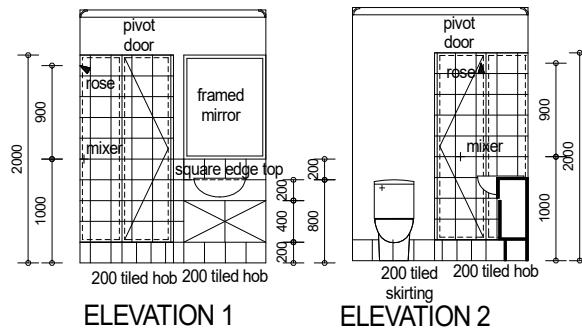


ELEVATION 7

UNIT 3 INTERNALS 1



NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



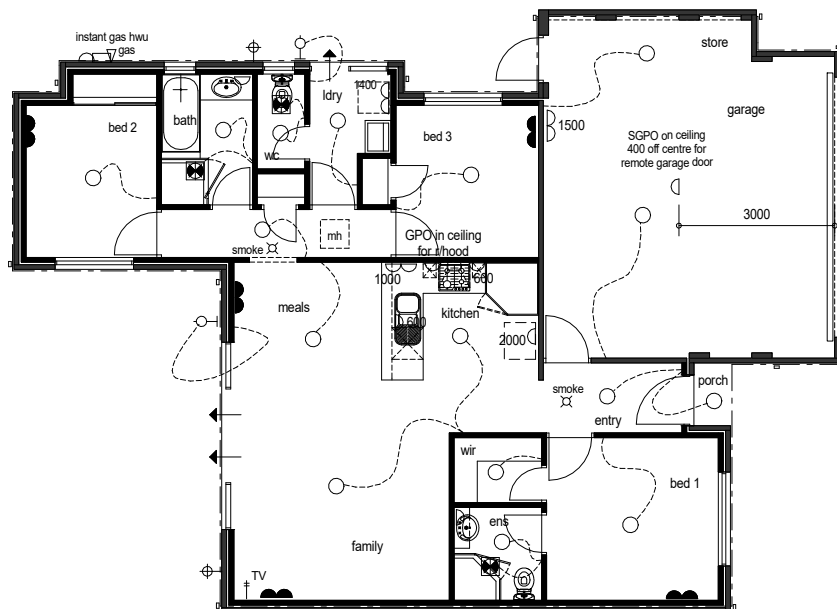
UNIT 3 INTERNALS 2

⊖	WALL LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⊗	EXHAUST FAN (FLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS CONNECTION POINT
●	CEILING LIGHT (FLUORO BULB - 12W = 60W HALOGEN)	⊗	EXHAUST FAN (UNFLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS NEGUS POINT
⊙	CEILING LIGHT (FLUORO BULB - 15W = 75W HALOGEN)	⊗	IXL TASTIC 3 IN 1	□ _{cv}	CEILING VENT
○	CEILING LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⌒	SINGLE GPO 300 ABOVE FL.	WY	WALL VENT
⊙	RECESSED DOWNLIGHT (LED = 15W)	⌒	DOUBLE GPO 300 ABOVE FL.	→ PH	PHONE POINT
—	FLUORO LIGHT SINGULAR 1200 (36W)	⌒	SINGLE GPO 900 ABOVE FL. (OR AS NOTED)	→ TV	TV POINT
⊗	WALL EXHAUST FAN	⌒	DOUBLE GPO 900 ABOVE FL. (OR AS NOTED)	⊗	SMOKE DETECTOR HARD WIRED TO AUST. STANDARD 3786

ARTIFICIAL LIGHTING REQUIREMENTS

<u>HOUSE MAXIMUM WATTAGE ALLOWED = (86.14m² x 5W) = 430W</u>
<u>GARAGE & STORE MAXIMUM WATTAGE ALLOWED = (35.80m² x 3W) = 107W</u>
<u>BALCONY & ALFRESCO MAXIMUM WATTAGE ALLOWED = (00.00m² x 4W) = 000W</u>
<u>EXTERNAL LIGHTING (INCL PORCH) (MINIMUM 40 Lumens/Watt)</u>

NOTE:
Light and fan positions may vary slightly to avoid roof structure over



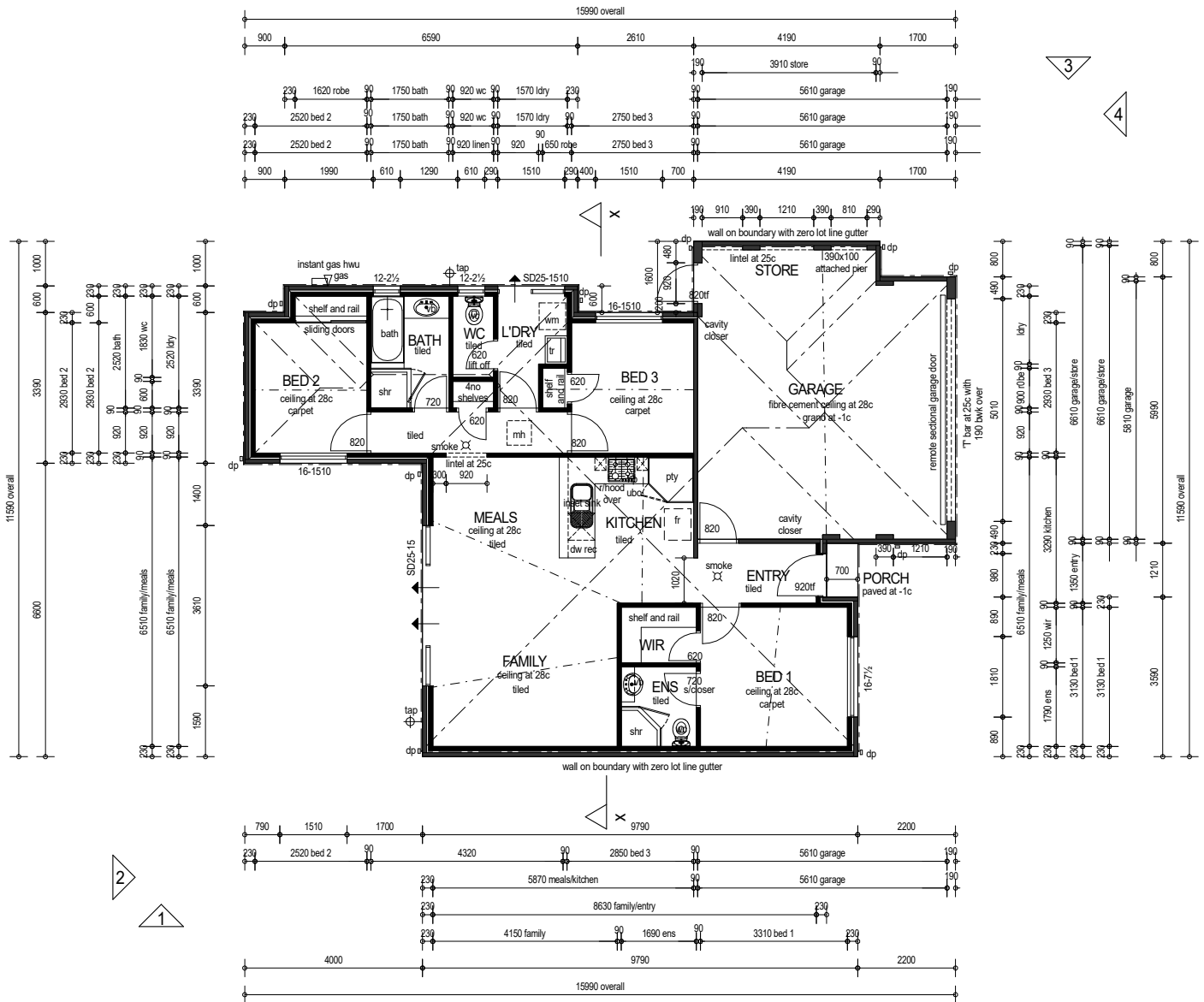
UNIT 3 ELECTRICAL PLAN

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

Scale 1:100

Note:
Face brick to be 290x162x90 laid in one third bond
Carpet to all bedrooms and robes
450sq tiles to kitchen, family, meals and entry
Vertical blinds to all windows (excluding sliding doors)

HOUSE	96.05 m²
GARAGE/STORE	37.91 m²
PORCH	0.85 m²
TOTAL	134.81 m²
PERIMETER	48.76 m

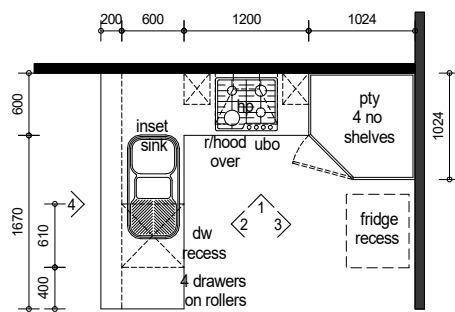


UNIT 4 FLOOR PLAN

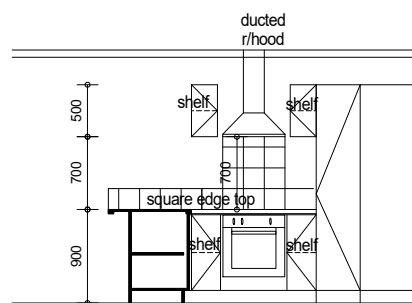
PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

Scale 1:100

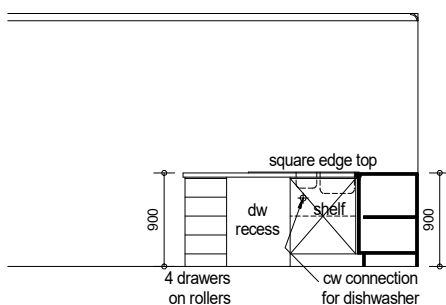
NOTE: ALL INTERNAL DIMENSIONS ARE TO BRICK SIZE ONLY NOT FINISHED SIZES



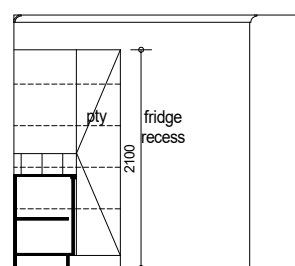
KITCHEN LAYOUT



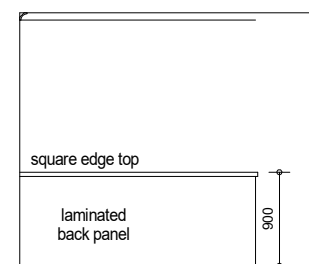
ELEVATION 1



ELEVATION 2

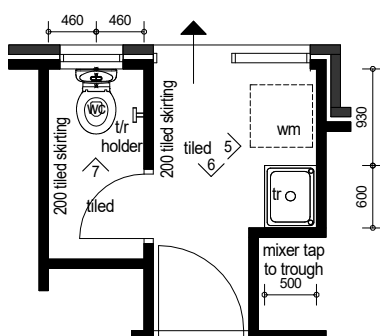


ELEVATION 3

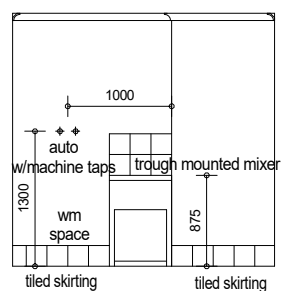


ELEVATION 4

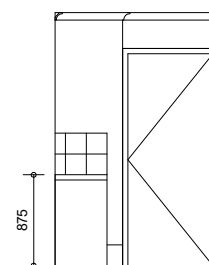
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



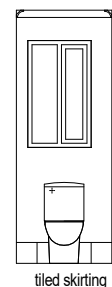
LAUNDRY/WC LAYOUT



ELEVATION 5

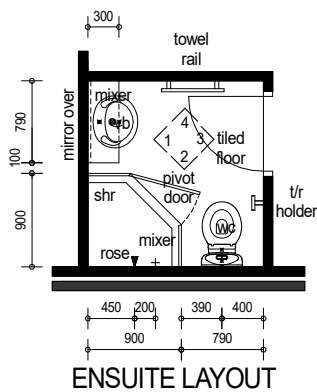


ELEVATION 6

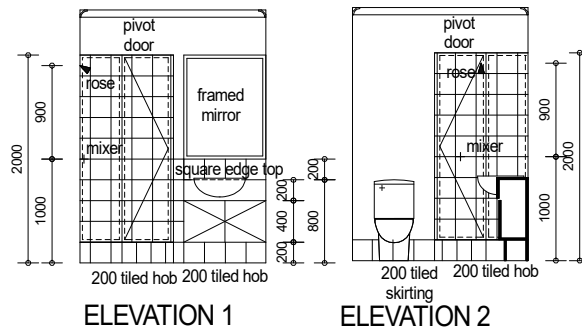


ELEVATION 7

UNIT 4 INTERNALS 1

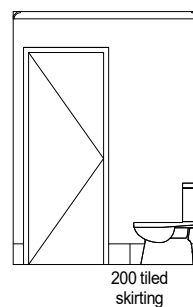


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TO ALL DOORS & DRAWERS

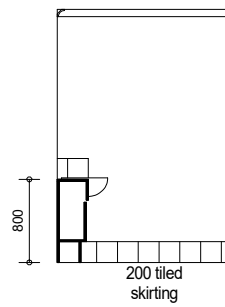


ELEVATION 1

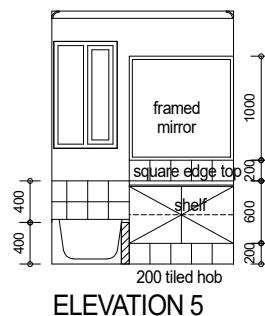
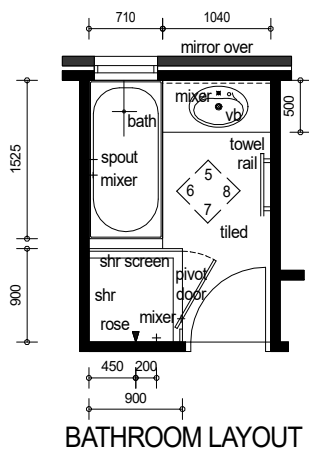
ELEVATION 2



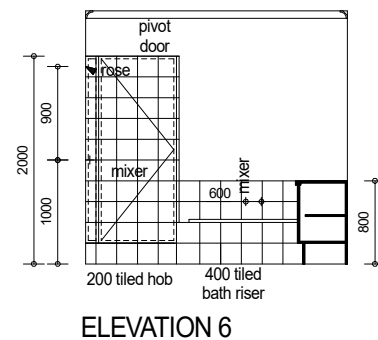
ELEVATION 3



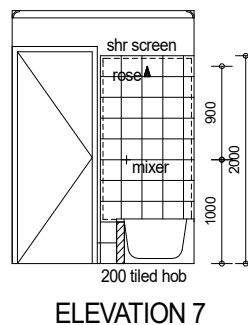
ELEVATION 4



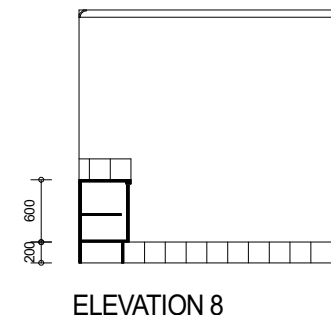
ELEVATION 5



ELEVATION 6



ELEVATION 7



ELEVATION 8

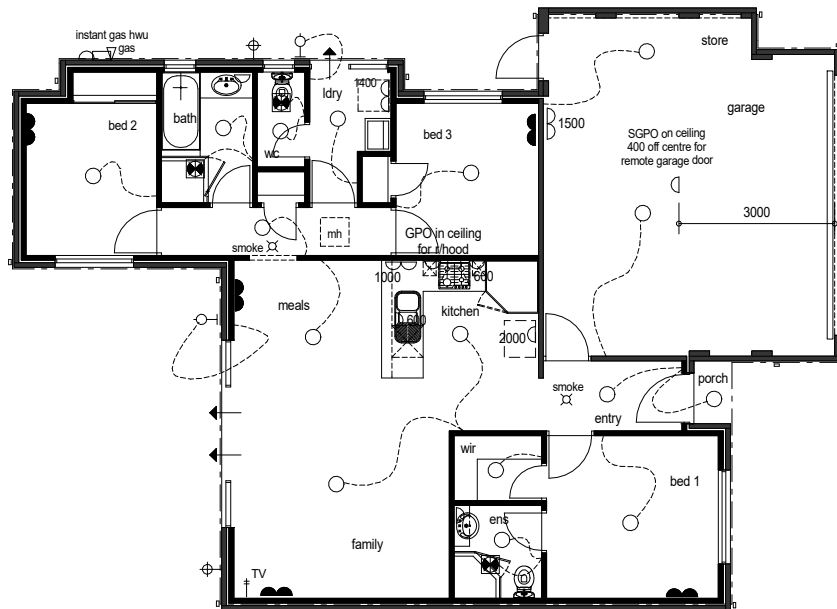
UNIT 4 INTERNALS 2

⊖	WALL LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⊗	EXHAUST FAN (FLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS CONNECTION POINT
●	CEILING LIGHT (FLUORO BULB - 12W = 60W HALOGEN)	⊗	EXHAUST FAN (UNFLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS NEGUS POINT
⊙	CEILING LIGHT (FLUORO BULB - 15W = 75W HALOGEN)	⊗	IXL TASTIC 3 IN 1	□ _{cv}	CEILING VENT
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<u>EXTERNAL LIGHTING (INCL PORCH) (MINIMUM 40 Lumens/Watt)</u>

NOTE:
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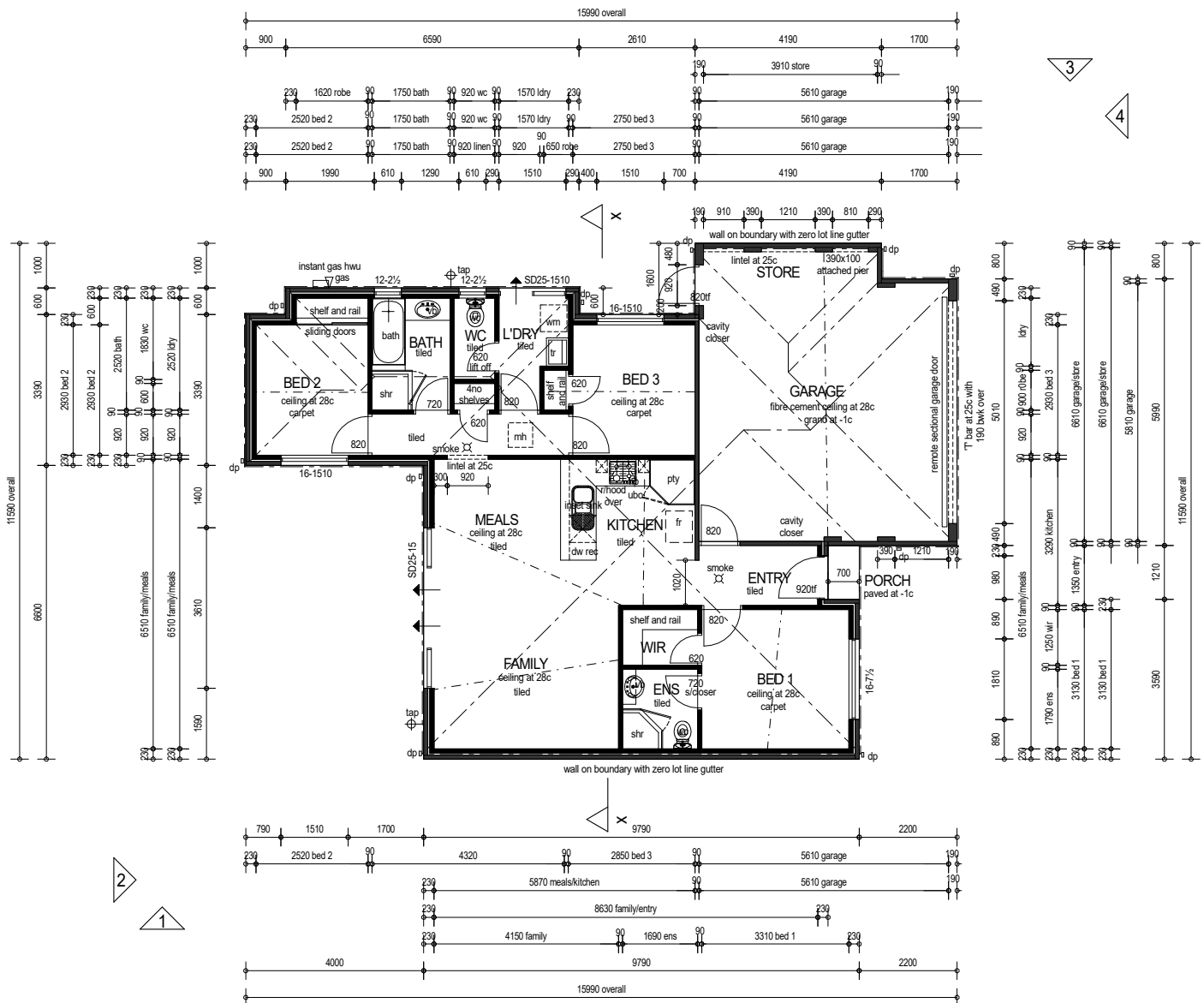
UNIT 4 ELECTRICAL PLAN

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

Scale 1:100

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 Carpet to all bedrooms and robes
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HOUSE	96.05 m²
GARAGE/STORE	37.91 m²
PORCH	0.85 m²
TOTAL	134.81 m²
PERIMETER	48.76 m

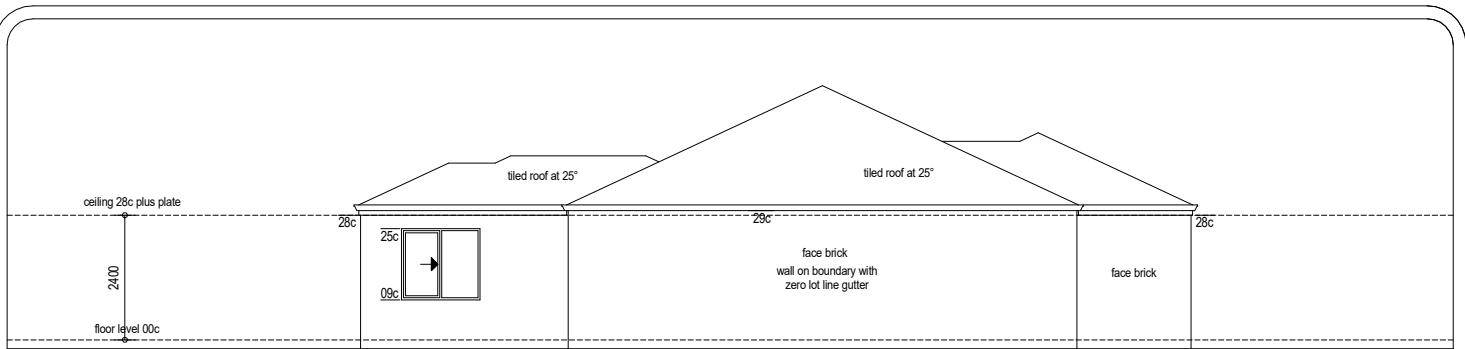


UNIT 5 FLOOR PLAN

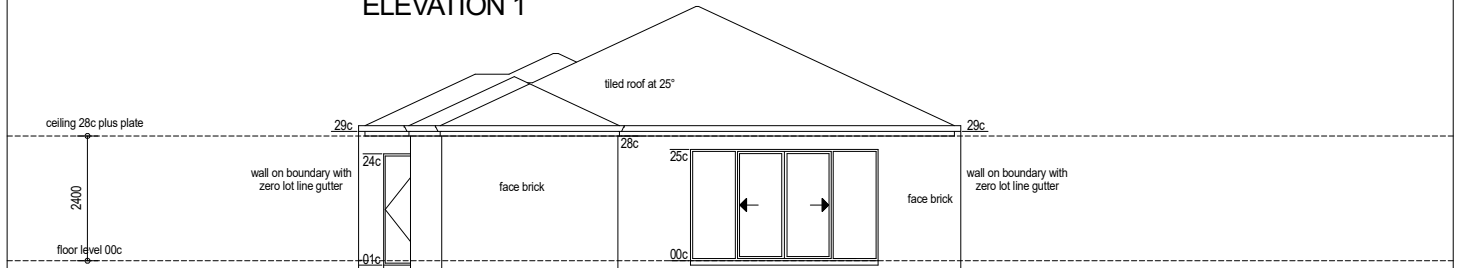
PROPOSED DEVELOPMENT
 18-20 Fifth Road, ARMADALE

Scale 1:100

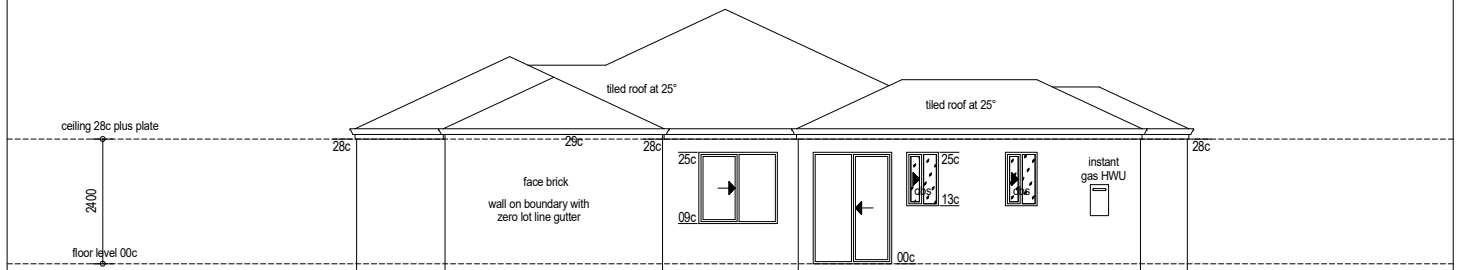
NOTE: ALL INTERNAL DIMENSIONS ARE TO BRICK SIZE ONLY NOT FINISHED SIZES



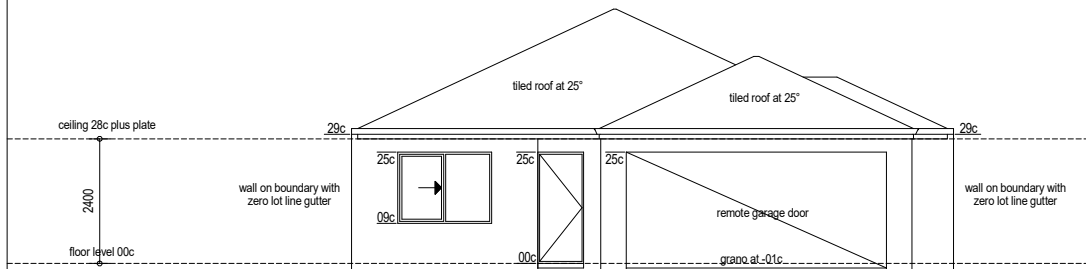
ELEVATION 1



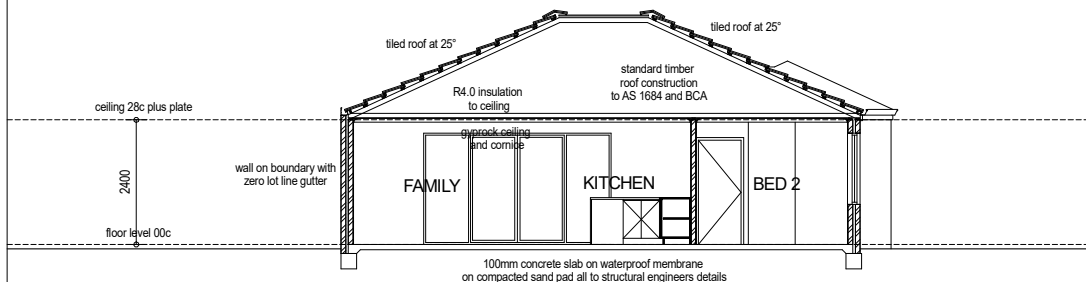
ELEVATION 2



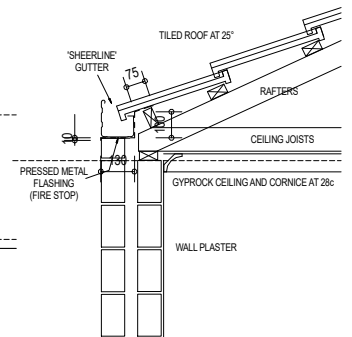
ELEVATION 3



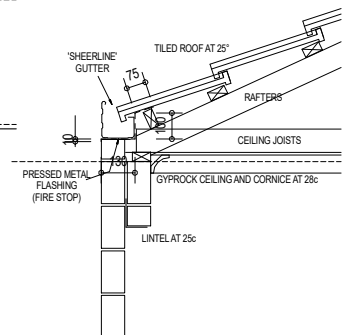
ELEVATION 4



SECTION X-X



HOUSE BOUNDARY WALL DETAIL
SCALE 1:20

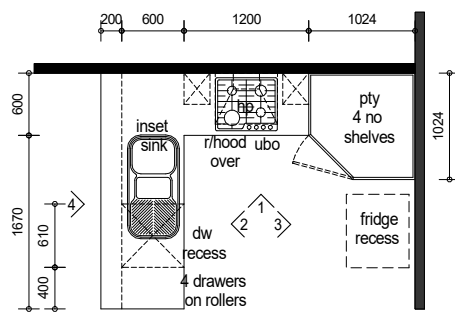


GARAGE BOUNDARY WALL DETAIL
SCALE 1:20

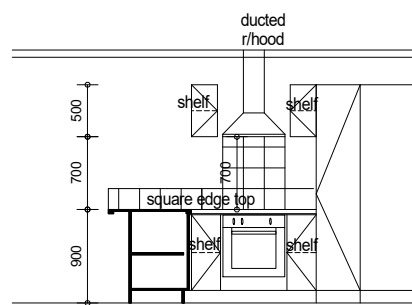
UNIT 5 ELEVATIONS

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

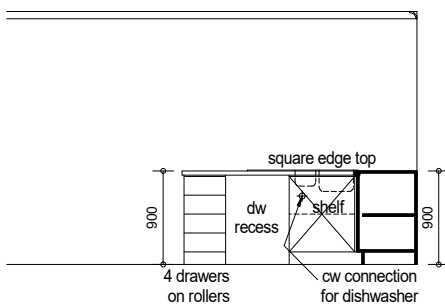
Scale 1:100



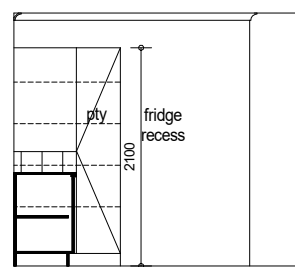
KITCHEN LAYOUT



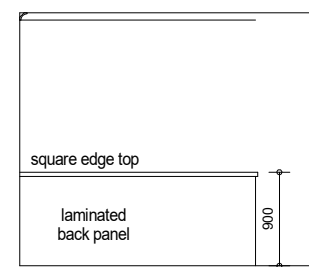
ELEVATION 1



ELEVATION 2

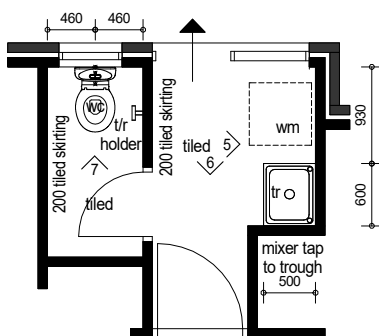


ELEVATION 3

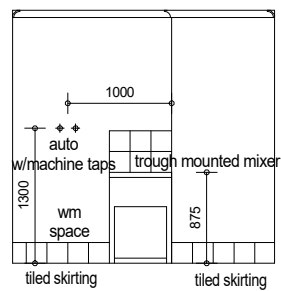


ELEVATION 4

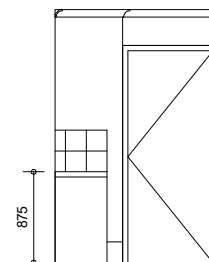
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



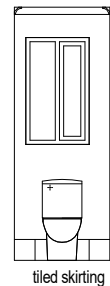
LAUNDRY/WC LAYOUT



ELEVATION 5

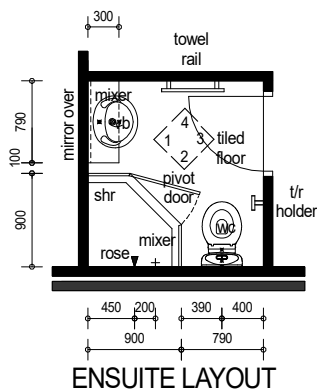


ELEVATION 6

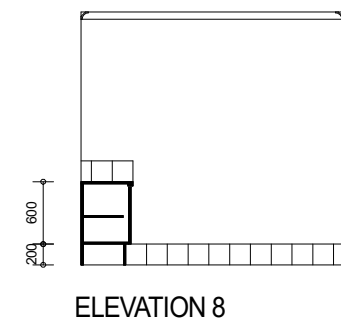
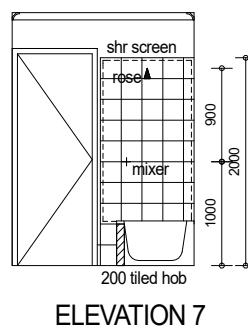
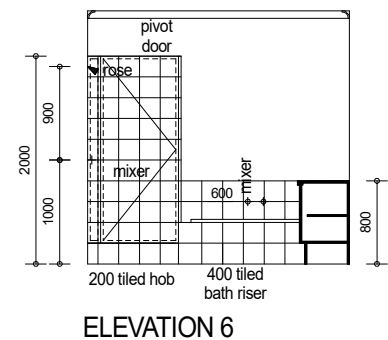
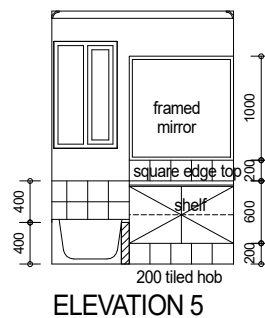
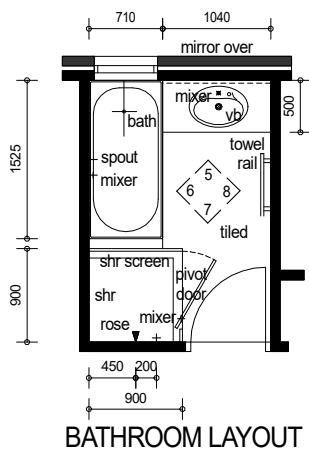
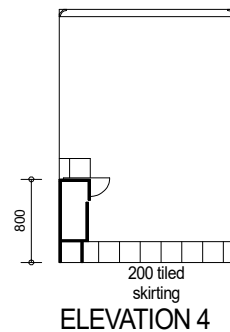
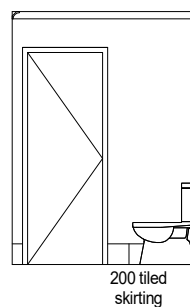
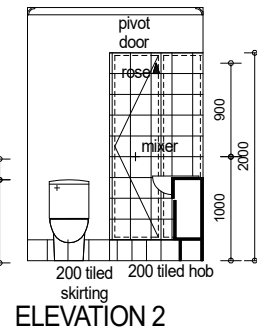
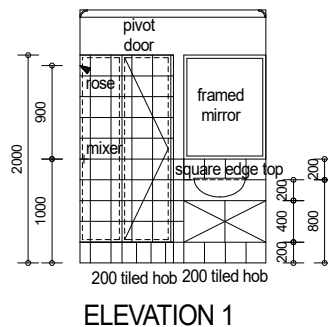


ELEVATION 7

UNIT 5 INTERNALS 1



NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



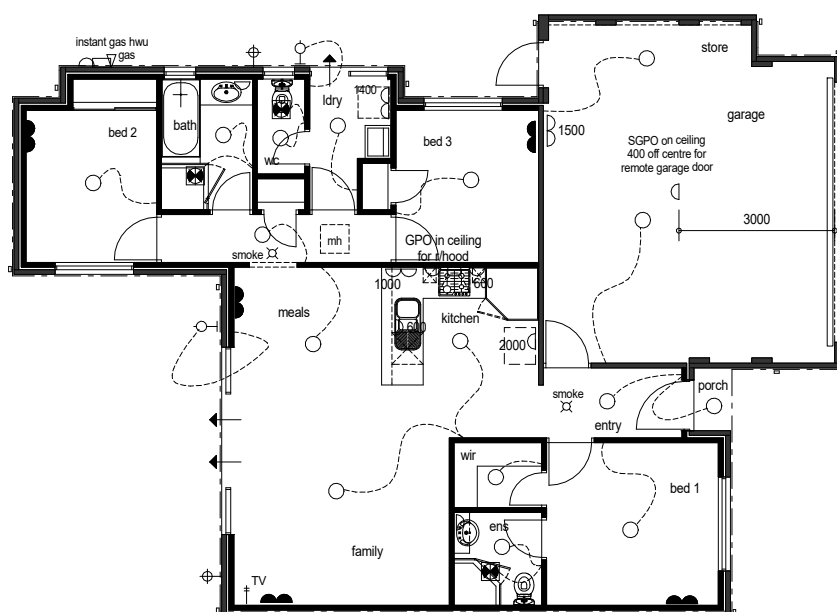
UNIT 5 INTERNALS 2

⊖	WALL LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⊗	EXHAUST FAN (FLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS CONNECTION POINT
●	CEILING LIGHT (FLUORO BULB - 12W = 60W HALOGEN)	⊗	EXHAUST FAN (UNFLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS NEGUS POINT
⊙	CEILING LIGHT (FLUORO BULB - 15W = 75W HALOGEN)	⊗	IXL TASTIC 3 IN 1	□ _{cv}	CEILING VENT
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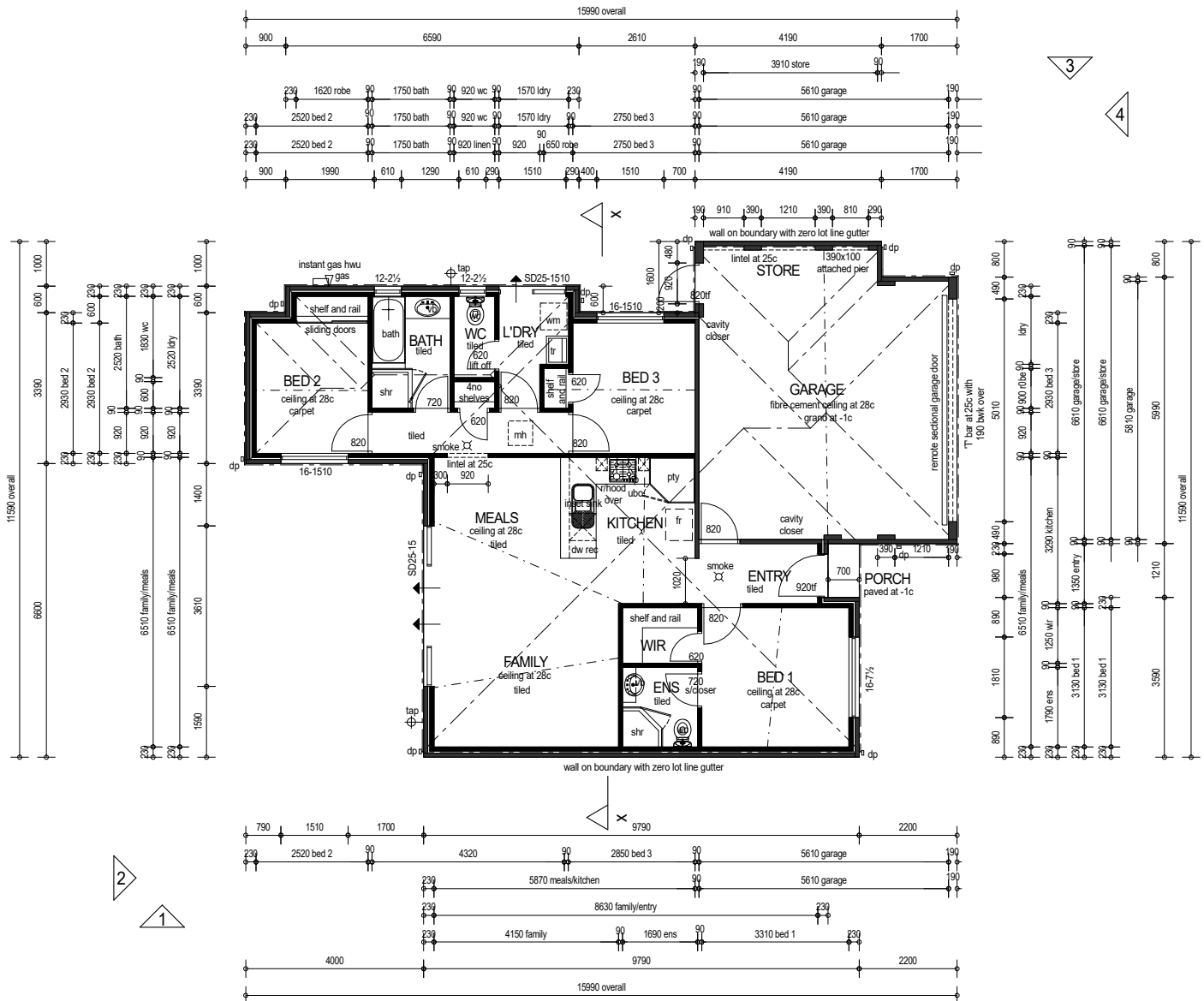
UNIT 5 ELECTRICAL PLAN

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

Scale 1:100

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PERIMETER	48.76 m



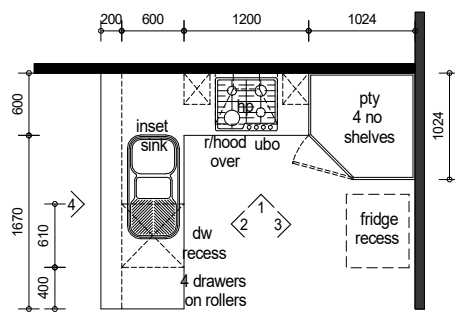
UNIT 6 FLOOR PLAN

PROPOSED DEVELOPMENT
 18-20 Fifth Road, ARMADALE

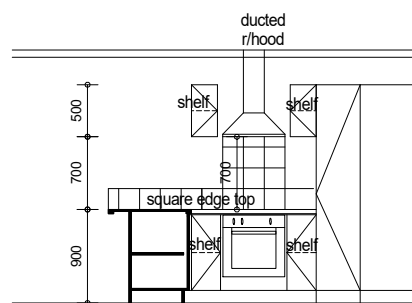
Scale 1:100

NOTE: ALL INTERNAL DIMENSIONS ARE TO BRICK SIZE ONLY NOT FINISHED SIZES

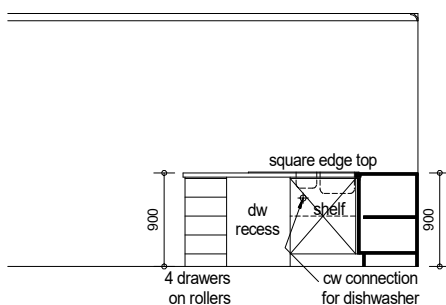
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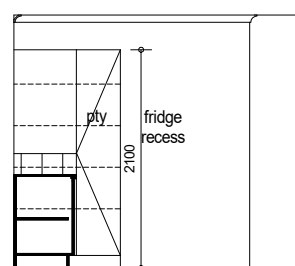
KITCHEN LAYOUT



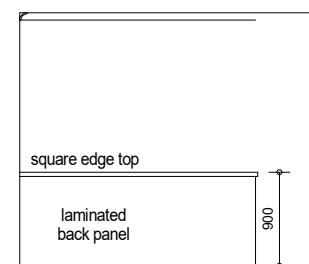
ELEVATION 1



ELEVATION 2

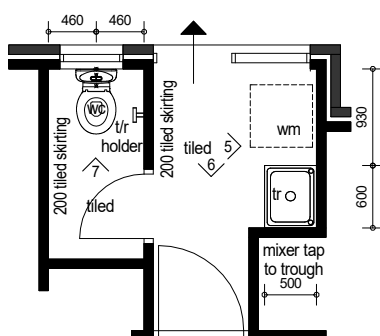


ELEVATION 3

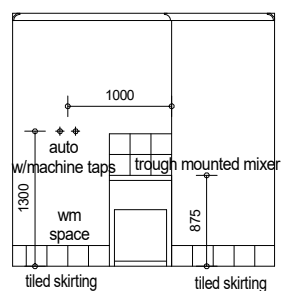


ELEVATION 4

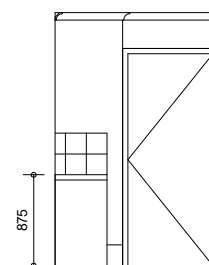
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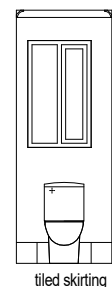
LAUNDRY/WC LAYOUT



ELEVATION 5

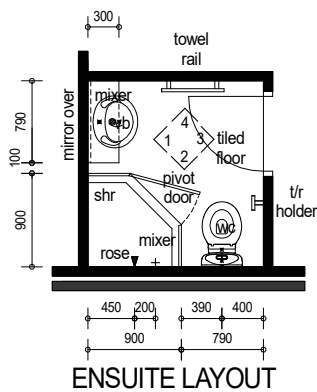


ELEVATION 6

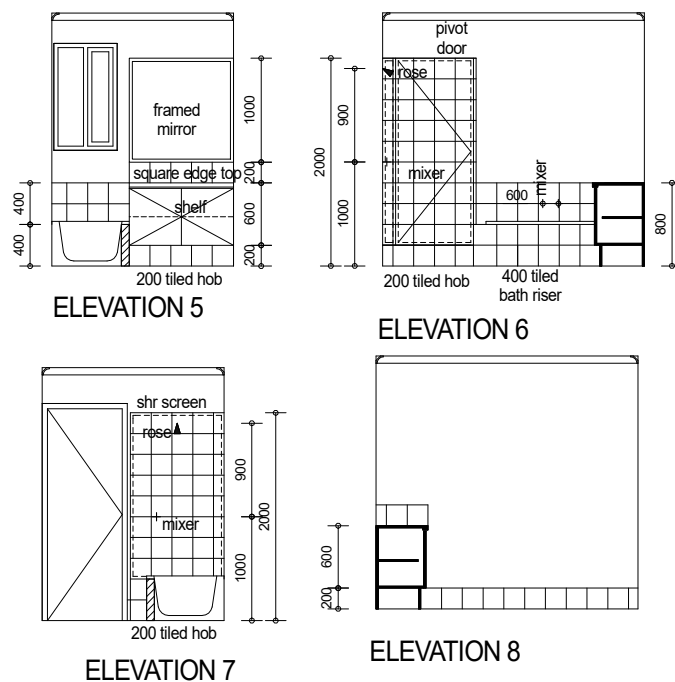
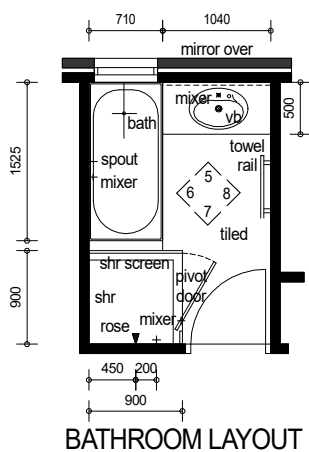
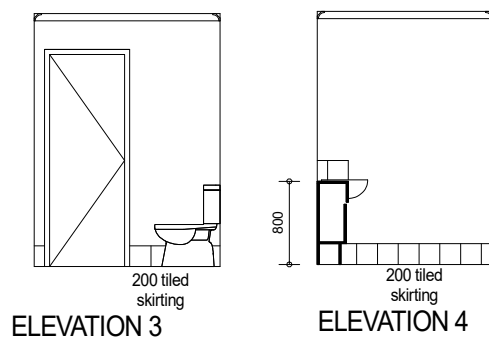
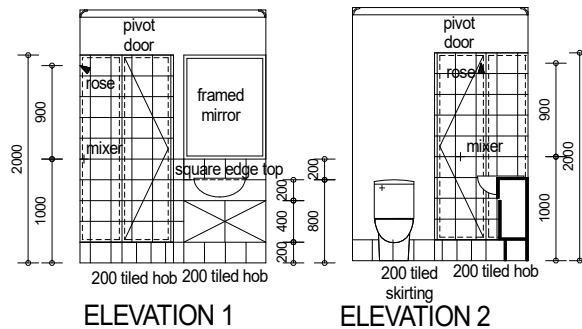


ELEVATION 7

UNIT 6 INTERNALS 1



NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



UNIT 6 INTERNALS 2

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

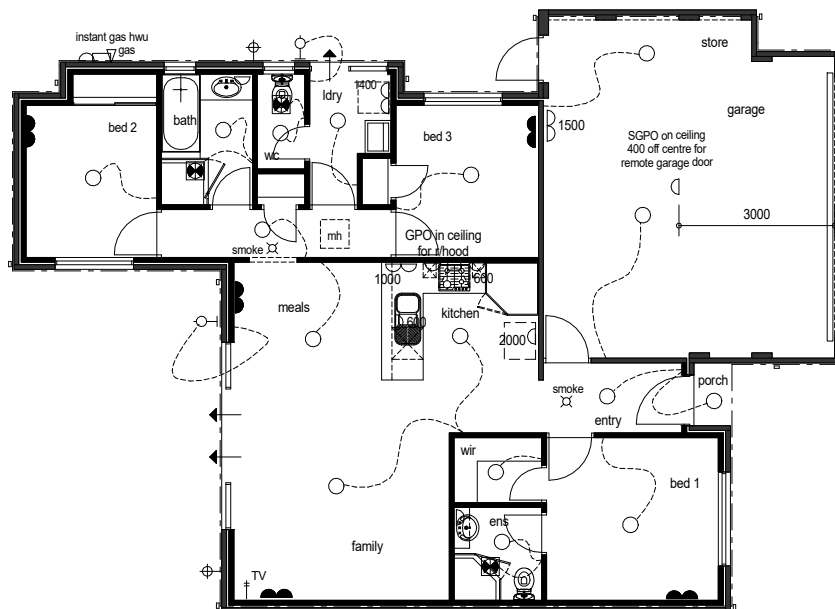
Scale 1:50

⊖	WALL LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⊗	EXHAUST FAN (FLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS CONNECTION POINT
●	CEILING LIGHT (FLUORO BULB - 12W = 60W HALOGEN)	⊗	EXHAUST FAN (UNFLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS NEGUS POINT
⊙	CEILING LIGHT (FLUORO BULB - 15W = 75W HALOGEN)	⊗	IXL TASTIC 3 IN 1	□ _{cv}	CEILING VENT
○	CEILING LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⌒	SINGLE GPO 300 ABOVE FL.	WY	WALL VENT
⊙	RECESSED DOWNLIGHT (LED = 15W)	⌒	DOUBLE GPO 300 ABOVE FL.	→ PH	PHONE POINT
—	FLUORO LIGHT SINGULAR 1200 (36W)	⌒	SINGLE GPO 900 ABOVE FL. (OR AS NOTED)	→ TV	TV POINT
⊗	WALL EXHAUST FAN	⌒	DOUBLE GPO 900 ABOVE FL. (OR AS NOTED)	⊗	SMOKE DETECTOR HARD WIRED TO AUST. STANDARD 3786

ARTIFICIAL LIGHTING REQUIREMENTS

<u>HOUSE MAXIMUM WATTAGE ALLOWED = (86.14m² x 5W) = 430W</u>
<u>GARAGE & STORE MAXIMUM WATTAGE ALLOWED = (35.80m² x 3W) = 107W</u>
<u>BALCONY & ALFRESCO MAXIMUM WATTAGE ALLOWED = (00.00m² x 4W) = 000W</u>
<u>EXTERNAL LIGHTING (INCL PORCH) (MINIMUM 40 Lumens/Watt)</u>

NOTE:
Light and fan positions may vary slightly to avoid roof structure over



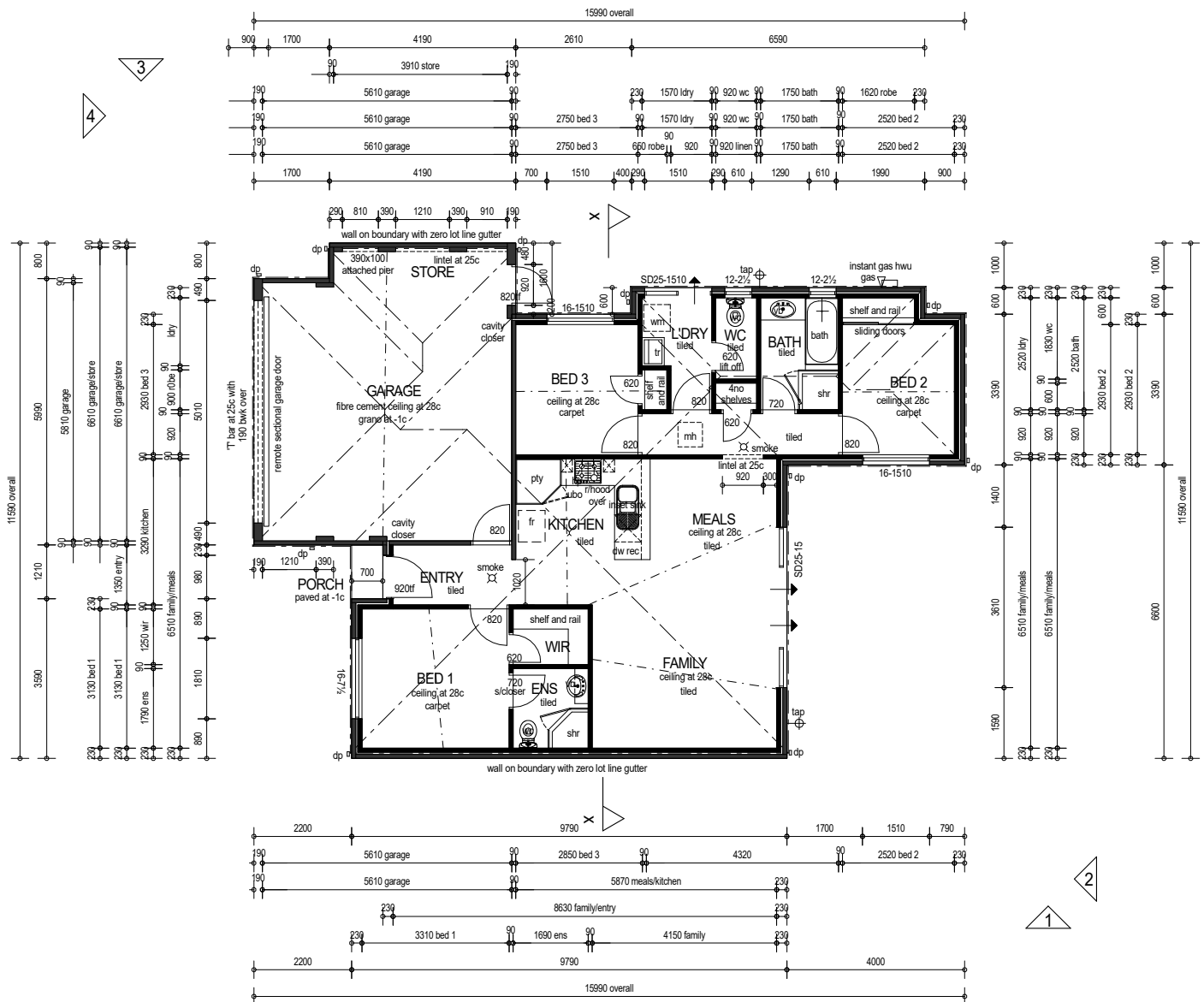
UNIT 6 ELECTRICAL PLAN

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

Scale 1:100

Note:
 Face brick to be 290x162x90 laid in one third bond
 Carpet to all bedrooms and robes
 450sq tiles to kitchen, family, meals and entry
 Vertical blinds to all windows (excluding sliding doors)

HOUSE	96.05 m²
GARAGE/STORE	37.91 m²
PORCH	0.85 m²
TOTAL	134.81 m²
PERIMETER	48.76 m

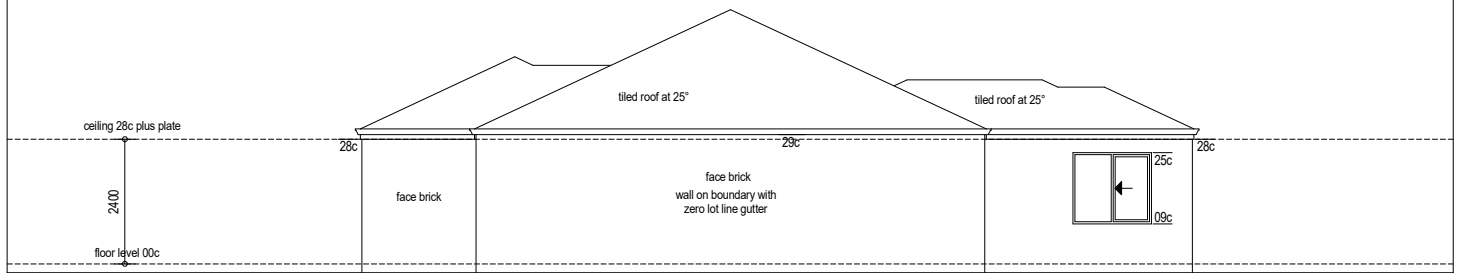


UNIT 7 FLOOR PLAN

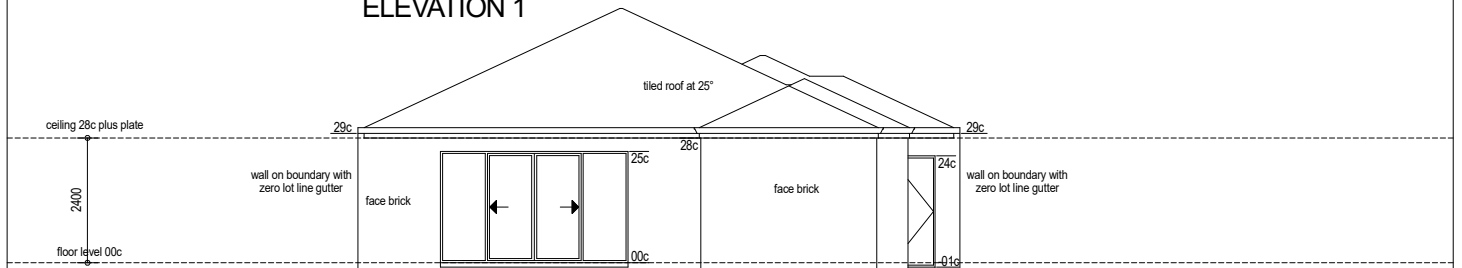
PROPOSED DEVELOPMENT
 18-20 Fifth Road, ARMADALE

Scale 1:100

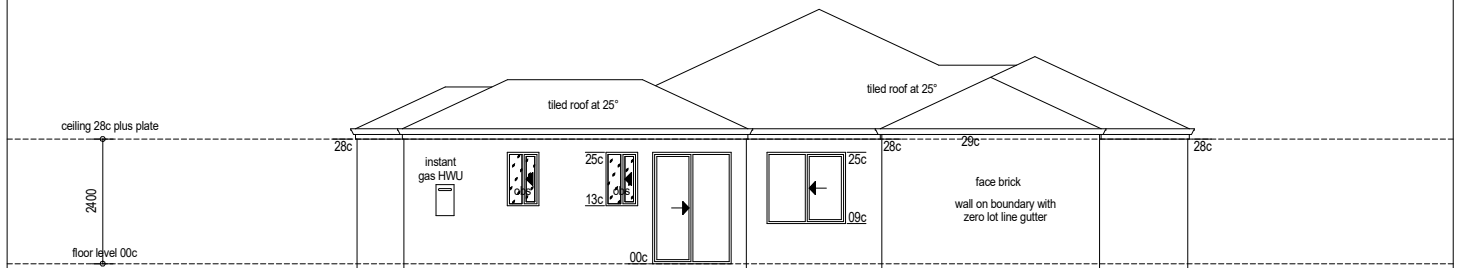
NOTE: ALL INTERNAL DIMENSIONS ARE TO BRICK SIZE ONLY NOT FINISHED SIZES



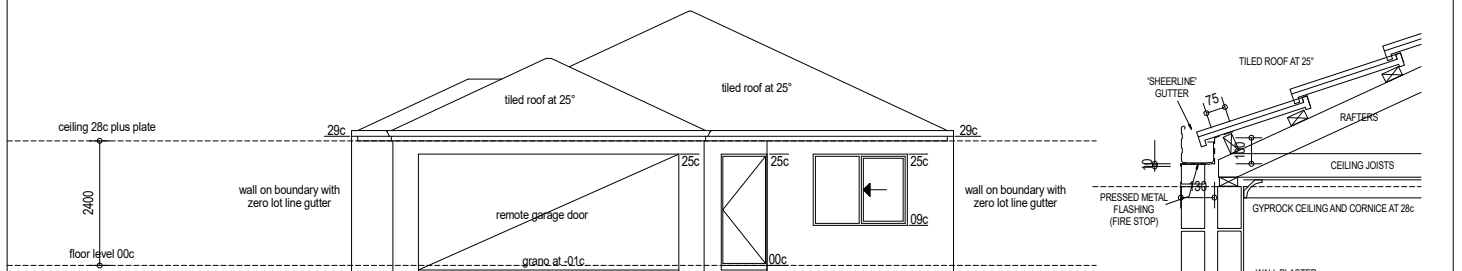
ELEVATION 1



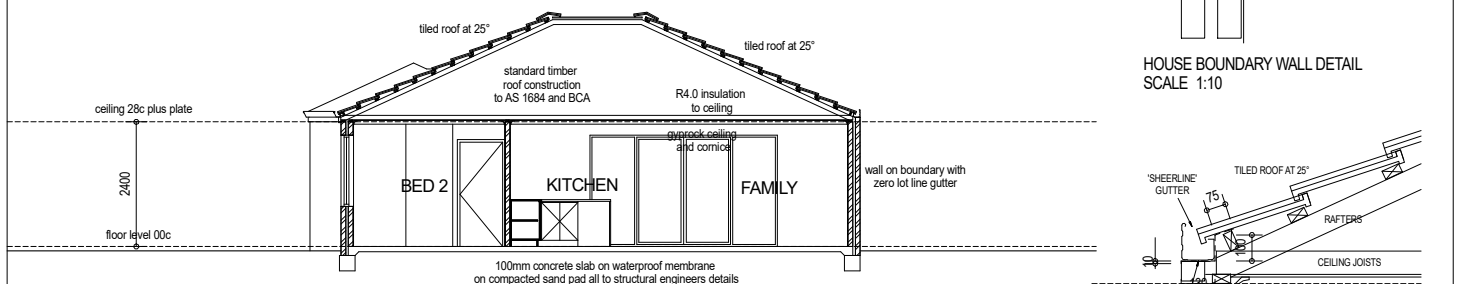
ELEVATION 2



ELEVATION 3

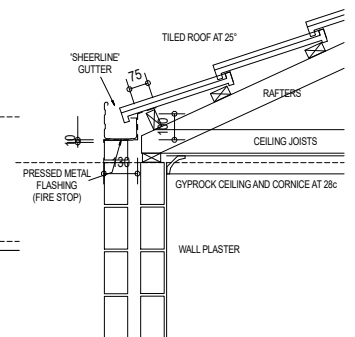


ELEVATION 4

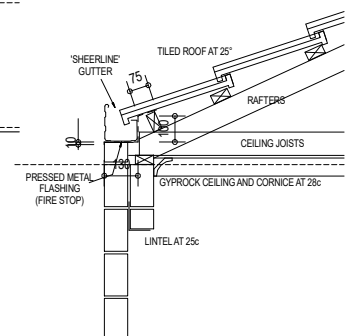


SECTION X-X

UNIT 7 ELEVATIONS



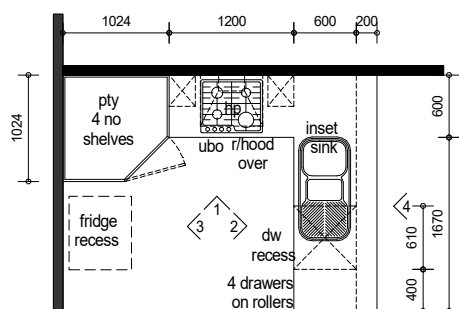
HOUSE BOUNDARY WALL DETAIL
SCALE 1:10



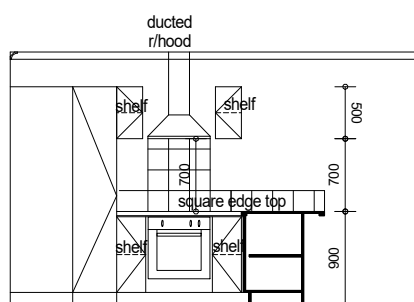
GARAGE BOUNDARY WALL DETAIL
SCALE 1:10

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

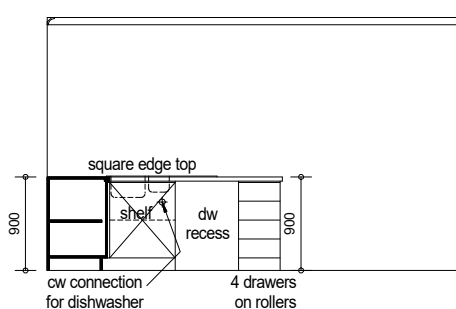
Scale 1:100



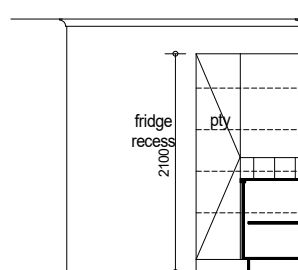
KITCHEN LAYOUT



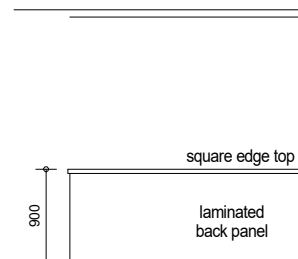
ELEVATION 1



ELEVATION 2

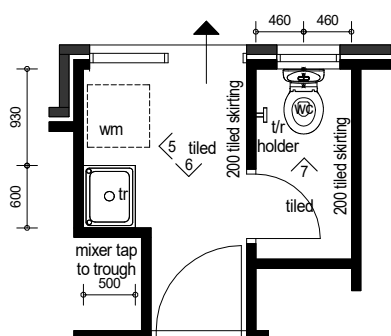


ELEVATION 3

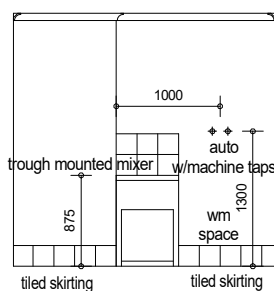


ELEVATION 4

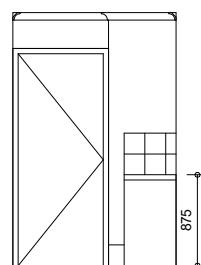
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



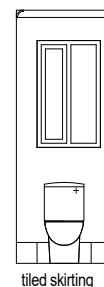
LAUNDRY/WC LAYOUT



ELEVATION 5



ELEVATION 6

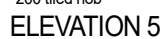


ELEVATION 7

UNIT 7 INTERNALS 1



ELEVATION 3



UNIT 7

INTERNALS 2

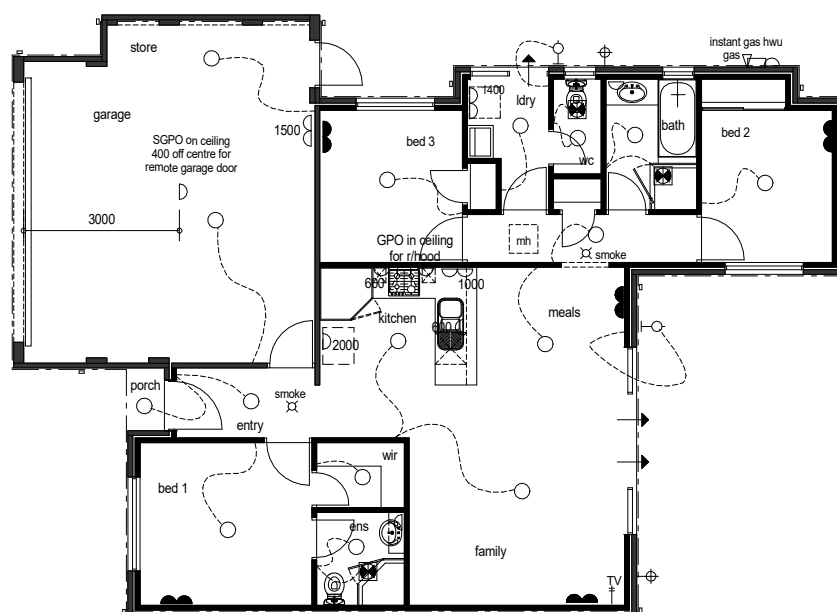
Scale 1:50

	WALL LIGHT (FLUORO BULB - 20W = 100W HALOGEN)		EXHAUST FAN (FLUMED) WITH AUTO DAMPERS		GAS CONNECTION POINT
	CEILING LIGHT (FLUORO BULB - 12W = 60W HALOGEN)		EXHAUST FAN (UNFLUMED) WITH AUTO DAMPERS		GAS NEGUS POINT
	CEILING LIGHT (FLUORO BULB - 15W = 75W HALOGEN)		IXL TASTIC 3 IN 1		CEILING VENT
	CEILING LIGHT (FLUORO BULB - 20W = 100W HALOGEN)		SINGLE GPO 300 ABOVE FL.		WALL VENT
	RECESSED DOWNLIGHT (LED = 15W)		DOUBLE GPO 300 ABOVE FL.		PHONE POINT
	FLUORO LIGHT SINGULAR 1200 (36W)		SINGLE GPO 900 ABOVE FL. (OR AS NOTED)		TV POINT
	WALL EXHAUST FAN		DOUBLE GPO 900 ABOVE FL. (OR AS NOTED)		SMOKE DETECTOR HARD WIRED TO AUST. STANDARD 3786

ARTIFICIAL LIGHTING REQUIREMENTS

HOUSE MAXIMUM WATTAGE ALLOWED = $(86.14m^2 \times 5W) = 430W$
GARAGE & STORE MAXIMUM WATTAGE ALLOWED = $(35.80m^2 \times 3W) = 107W$
BALCONY & ALFRESCO MAXIMUM WATTAGE ALLOWED = $(00.00m^2 \times 4W) = 000W$
EXTERNAL LIGHTING (INCL PORCH) (MINIMUM 40 Lumens/Watt)

NOTE:
Light and fan positions may vary
slightly to avoid roof structure over



UNIT 7

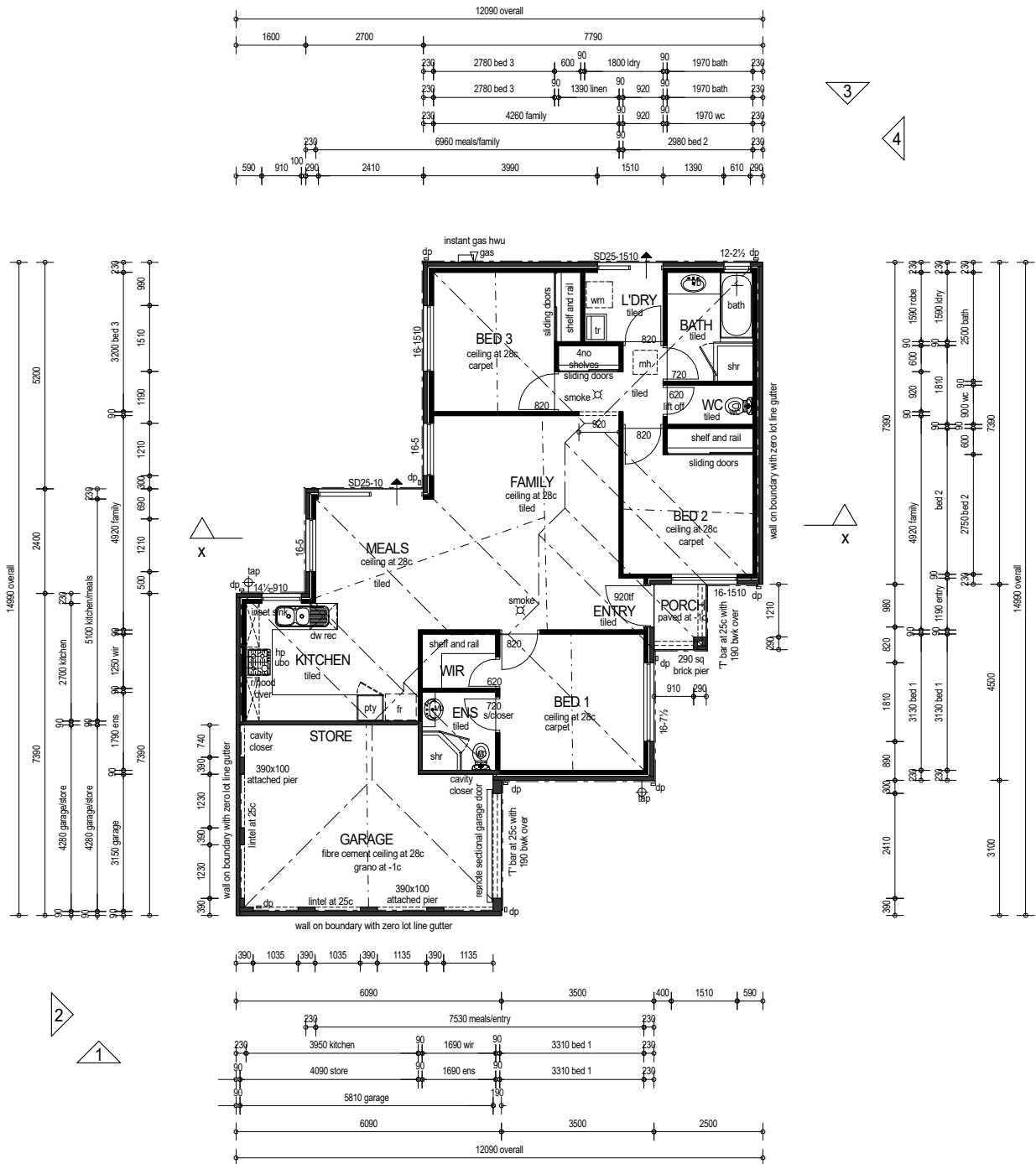
ELECTRICAL PLAN

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

Scale 1:100

Note:
Face brick to be 290x162x90 laid in one third bond
Carpet to all bedrooms and robes
450sq tiles to kitchen, family, meals and entry
Vertical blinds to all windows (excluding sliding doors)

HOUSE	100.75 m²
GARAGE/STORE	24.43 m²
PORCH	1.80 m²
TOTAL	126.98 m²
PERIMETER	47.96 m

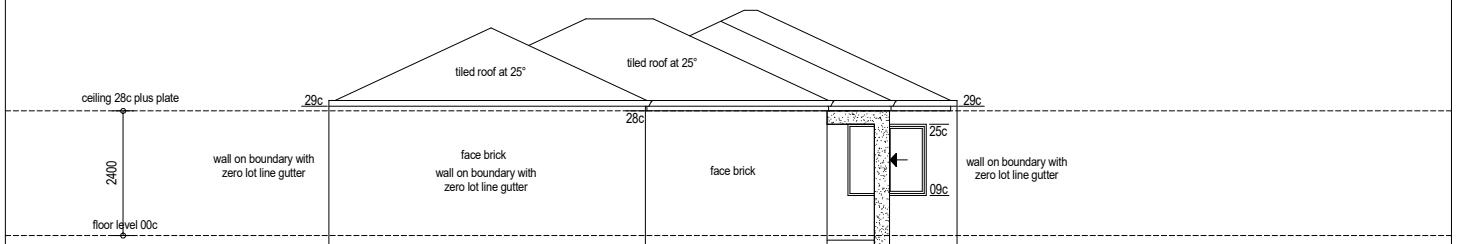


UNIT 8 FLOOR PLAN

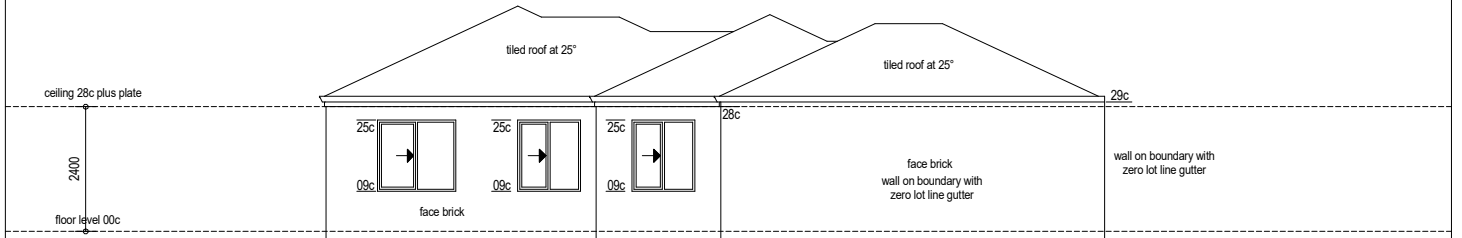
PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

Scale 1:100

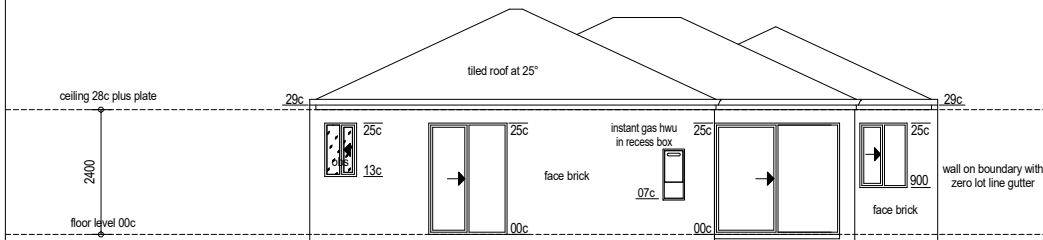
NOTE: ALL INTERNAL DIMENSIONS ARE TO BRICK SIZE ONLY NOT FINISHED SIZES



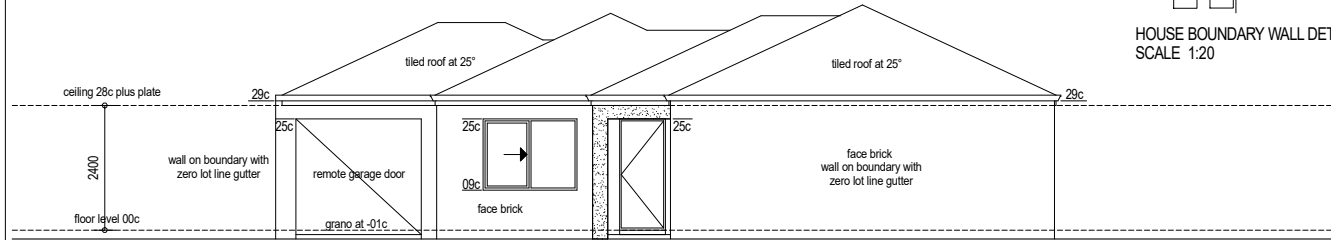
ELEVATION 1



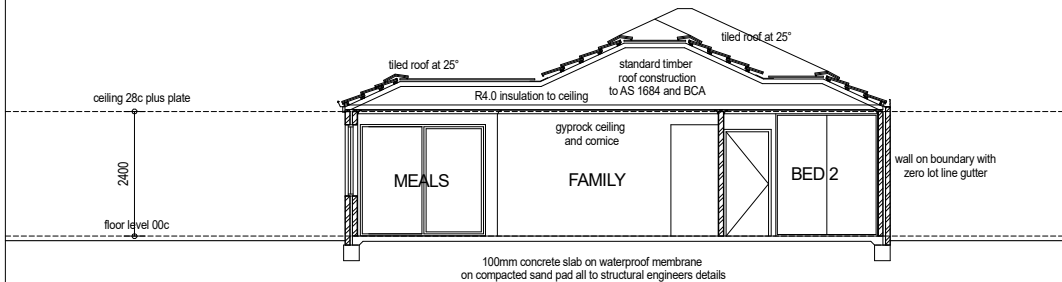
ELEVATION 2



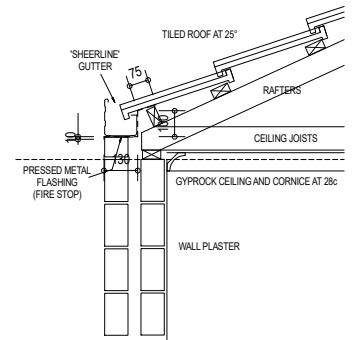
ELEVATION 3



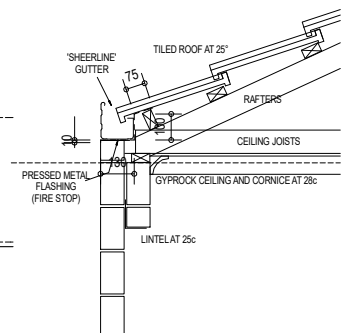
ELEVATION 4



SECTION X-X



HOUSE BOUNDARY WALL DETAIL
SCALE 1:20

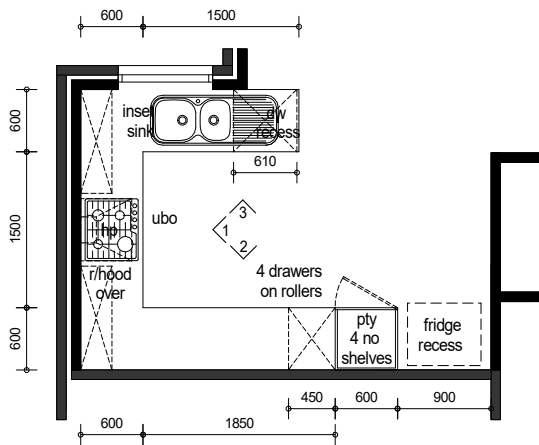


GARAGE BOUNDARY WALL DETAIL
SCALE 1:20

UNIT 8 ELEVATIONS

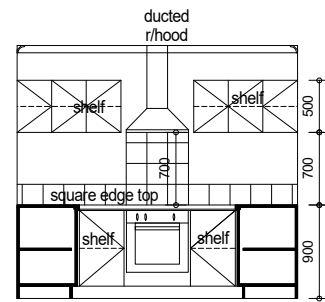
PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

Scale 1:100

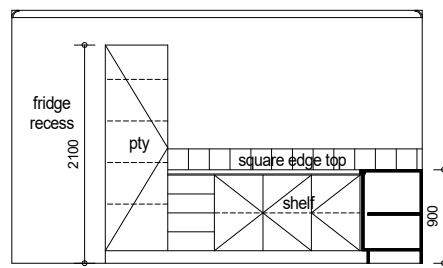


KITCHEN LAYOUT

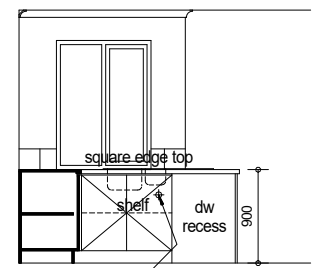
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



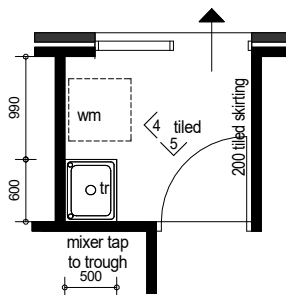
ELEVATION 1



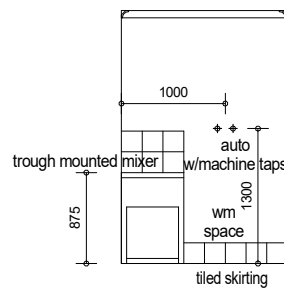
ELEVATION 2



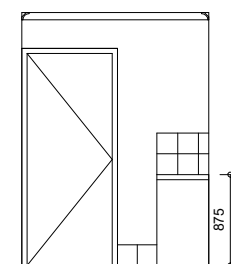
ELEVATION 3



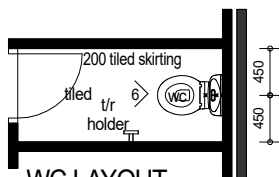
LAUNDRY LAYOUT



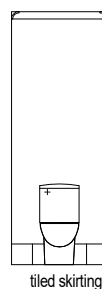
ELEVATION 4



ELEVATION 5



WC LAYOUT

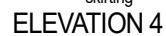


ELEVATION 6

UNIT 8 INTERNALS 1



ELEVATION 3



Scale 1:50

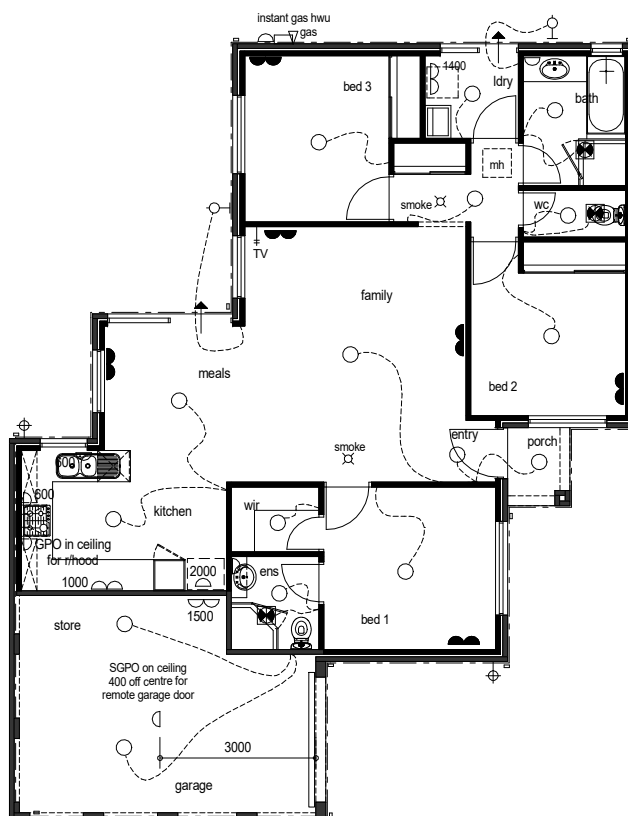
⊖	WALL LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⊗	EXHAUST FAN (FLUMED) WITH AUTO DAMPERS	▽gas	GAS CONNECTION POINT
⊙	CEILING LIGHT (FLUORO BULB - 12W = 60W HALOGEN)	⊗	EXHAUST FAN (UNFLUMED) WITH AUTO DAMPERS	▽	GAS NEGUS POINT
⊕	CEILING LIGHT (FLUORO BULB - 15W = 75W HALOGEN)	⊗	IXL TASTIC 3 IN 1	⊠ov	CEILING VENT
○	CEILING LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⬤	SINGLE GPO 300 ABOVE FL.	WY	WALL VENT
⊙	RECESSED DOWNLIGHT (LED = 15W)	⬤	DOUBLE GPO 300 ABOVE FL.	→ PH	PHONE POINT
⊖	FLUORO LIGHT SINGULAR 1200 (36W)	⬤	SINGLE GPO 900 ABOVE FL. (OR AS NOTED)	→ TV	TV POINT
⊗	WALL EXHAUST FAN	⬤	DOUBLE GPO 900 ABOVE FL. (OR AS NOTED)	⊗	SMOKE DETECTOR HARD WIRED TO AUST. STANDARD 3786

ARTIFICIAL LIGHTING REQUIREMENTS

<u>HOUSE MAXIMUM WATTAGE ALLOWED = (90.92m² x 5W) = 454W</u>
<u>GARAGE & STORE MAXIMUM WATTAGE ALLOWED = (22.92m² x 3W) = 68W</u>
<u>BALCONY & ALFRESCO MAXIMUM WATTAGE ALLOWED = (00.00m² x 4W) = 000W</u>
<u>EXTERNAL LIGHTING (INCL PORCH) (MINIMUM 40 Lumens/Watt)</u>

NOTE:

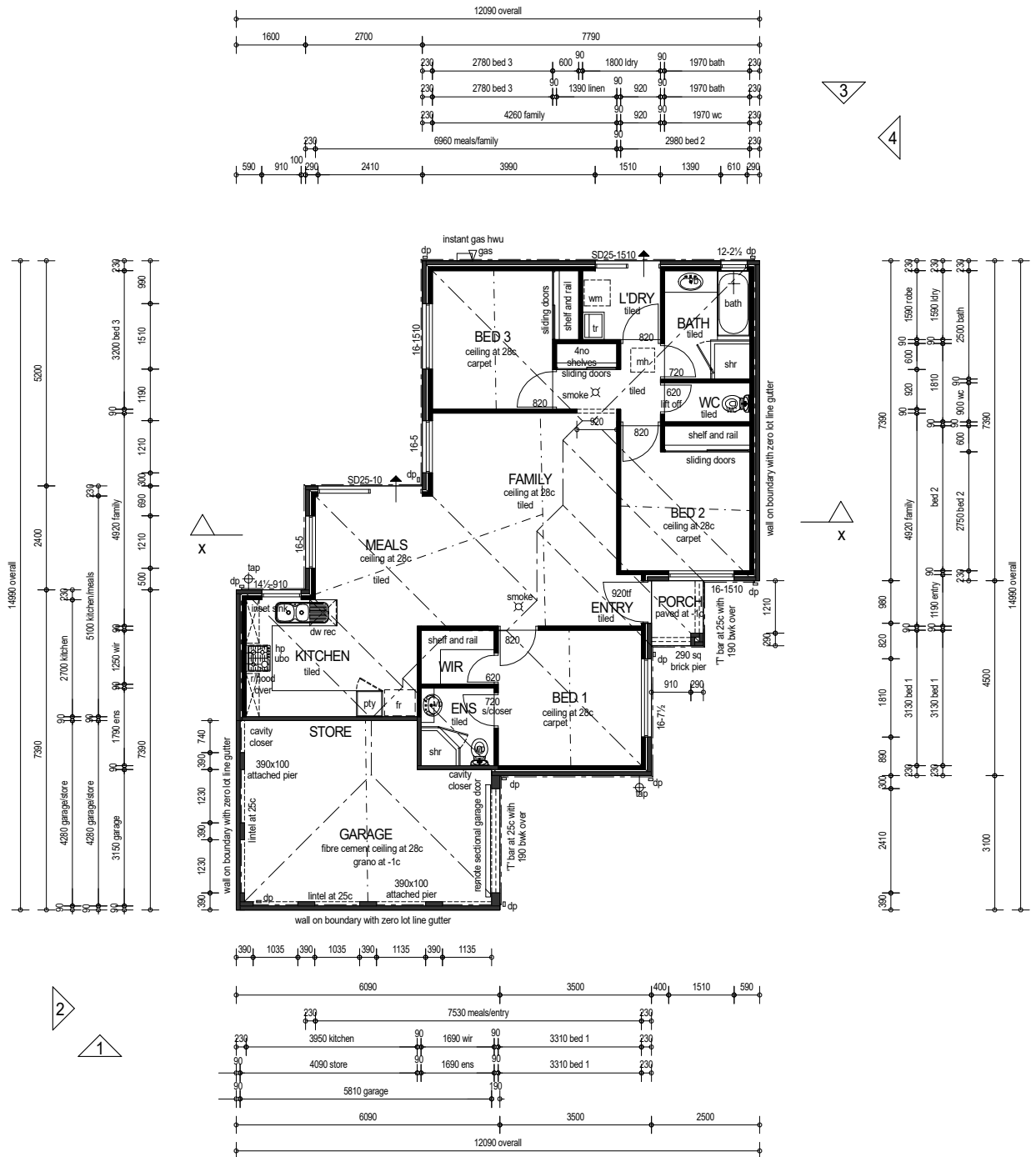
Light and fan positions may vary slightly to avoid roof structure over



UNIT 8 ELECTRICAL PLAN

Note:
 Face brick to be 290x162x90 laid in one third bond
 Carpet to all bedrooms and robes
 450sq tiles to kitchen, family, meals and entry
 Vertical blinds to all windows (excluding sliding doors)

HOUSE	100.75 m²
GARAGE/STORE	24.43 m²
PORCH	1.80 m²
TOTAL	126.98 m²
PERIMETER	47.96 m

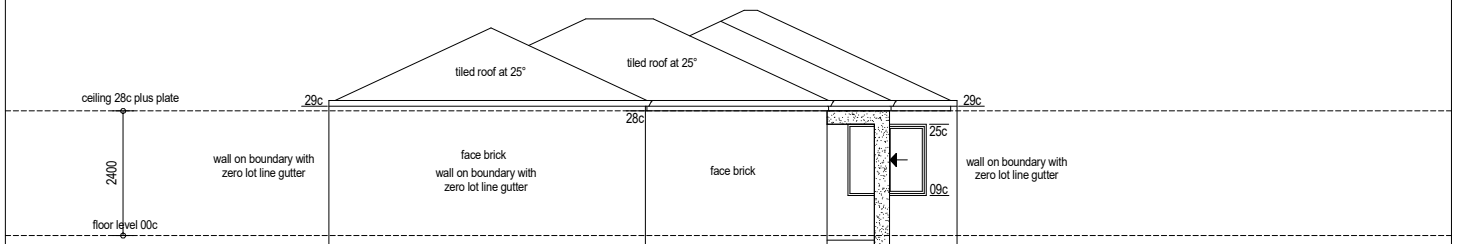


UNIT 9 FLOOR PLAN

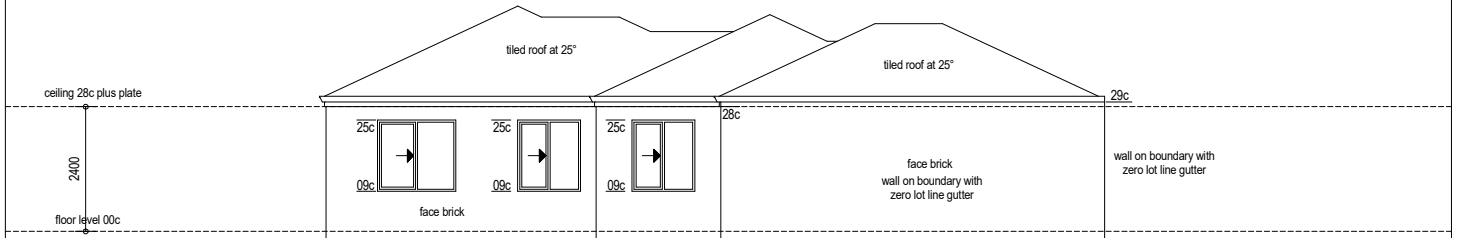
PROPOSED DEVELOPMENT
 18-20 Fifth Road, ARMADALE

Scale 1:100

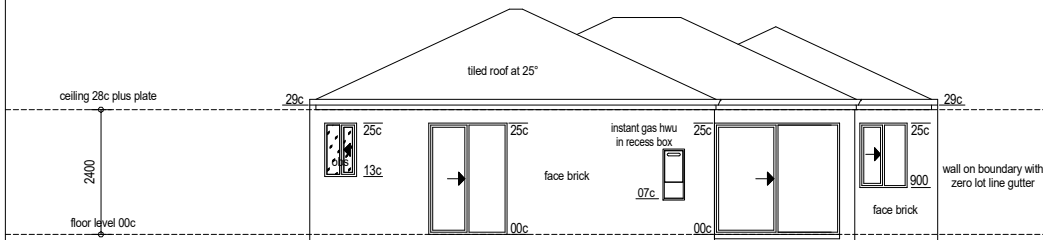
NOTE: ALL INTERNAL DIMENSIONS ARE TO BRICK SIZE ONLY NOT FINISHED SIZES



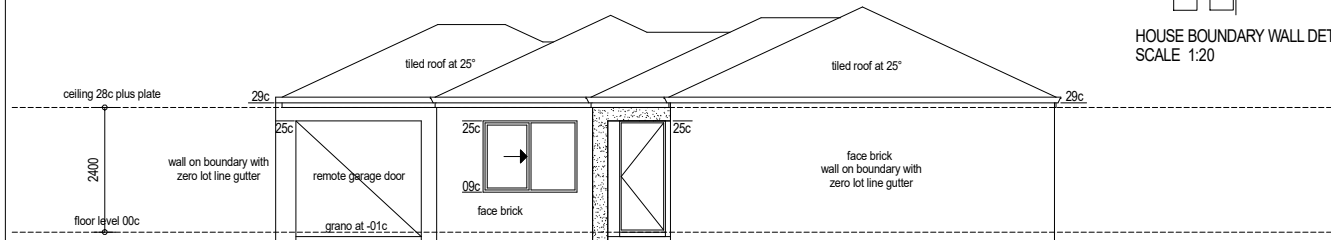
ELEVATION 1



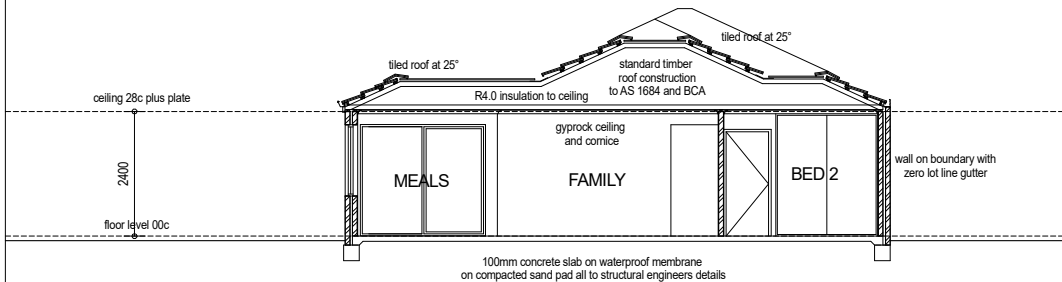
ELEVATION 2



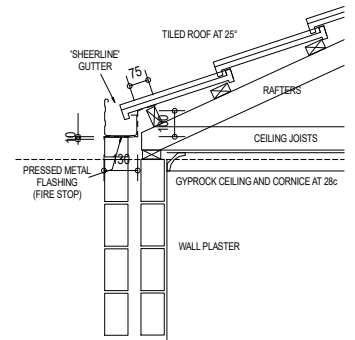
ELEVATION 3



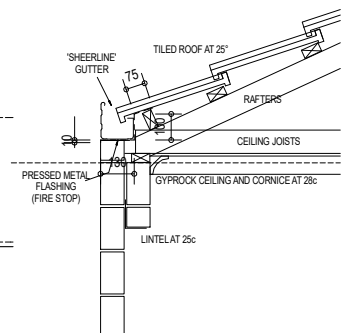
ELEVATION 4



SECTION X-X



HOUSE BOUNDARY WALL DETAIL
SCALE 1:20

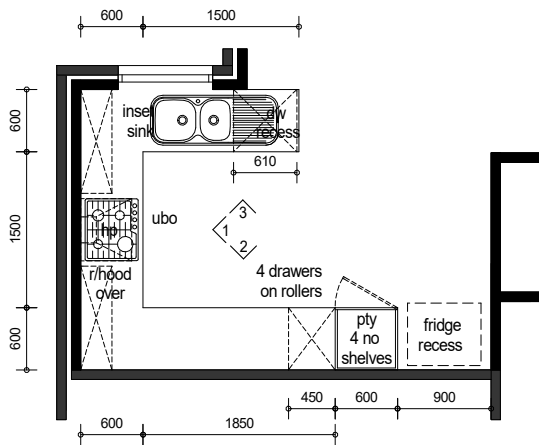


GARAGE BOUNDARY WALL DETAIL
SCALE 1:20

UNIT 9 ELEVATIONS

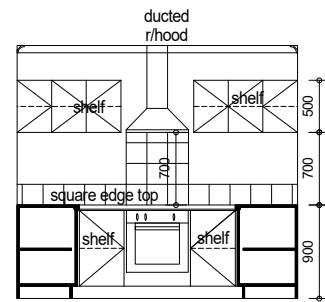
PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

Scale 1:100

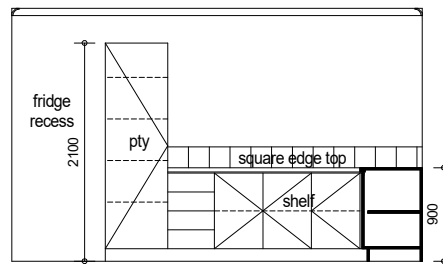


KITCHEN LAYOUT

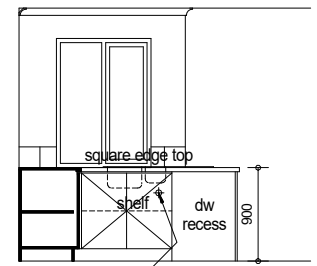
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



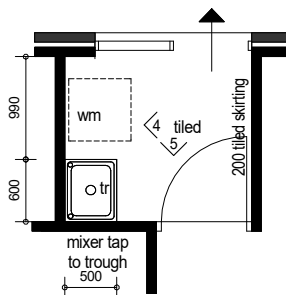
ELEVATION 1



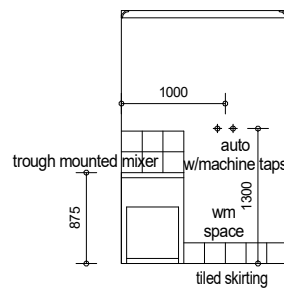
ELEVATION 2



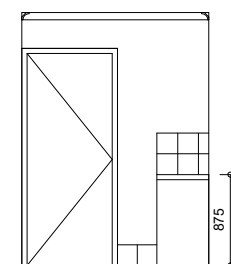
ELEVATION 3



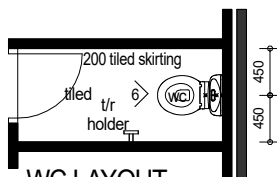
LAUNDRY LAYOUT



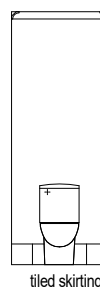
ELEVATION 4



ELEVATION 5



WC LAYOUT

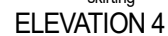


ELEVATION 6

UNIT 9 INTERNALS 1



ELEVATION 3



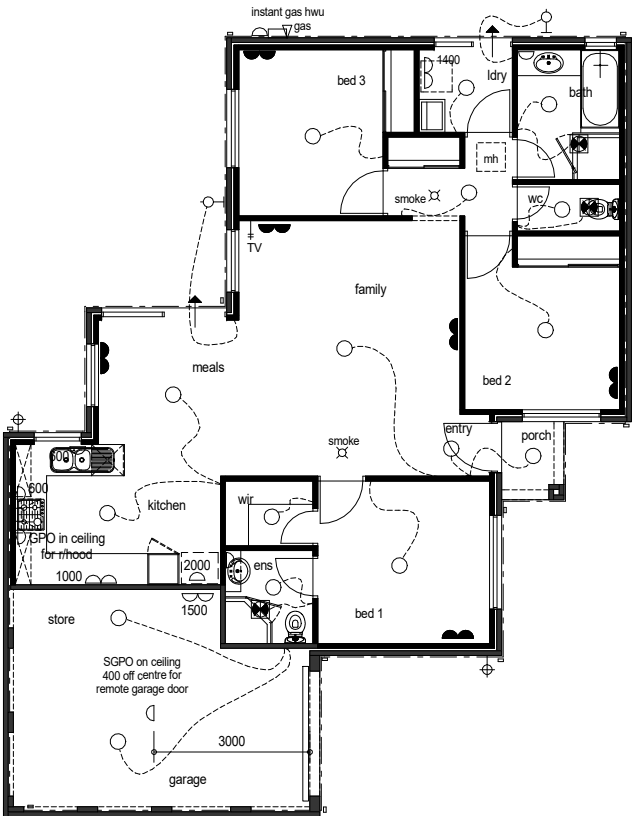
Scale 1:50

⊖	WALL LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⊖	EXHAUST FAN (FLUMED) WITH AUTO DAMPERS	▽gas	GAS CONNECTION POINT
⊙	CEILING LIGHT (FLUORO BULB - 12W = 60W HALOGEN)	⊗	EXHAUST FAN (UNFLUMED) WITH AUTO DAMPERS	▽	GAS NEGUS POINT
⊕	CEILING LIGHT (FLUORO BULB - 15W = 75W HALOGEN)	⊗	IXL TASTIC 3 IN 1	⊖	CEILING VENT
○	CEILING LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⊖	SINGLE GPO 300 ABOVE FL.	▽	WALL VENT
⊙	RECESSED DOWNLIGHT (LED = 15W)	⊖	DOUBLE GPO 300 ABOVE FL.	→ PH	PHONE POINT
⊖	FLUORO LIGHT SINGULAR 1200 (36W)	⊖	SINGLE GPO 900 ABOVE FL. (OR AS NOTED)	→ TV	TV POINT
⊖	WALL EXHAUST FAN	⊖	DOUBLE GPO 900 ABOVE FL. (OR AS NOTED)	⊗	SMOKE DETECTOR HARD WIRED TO AUST. STANDARD 3786

ARTIFICIAL LIGHTING REQUIREMENTS

HOUSE MAXIMUM WATTAGE ALLOWED = (90.92m² x 5W) = 454W
GARAGE & STORE MAXIMUM WATTAGE ALLOWED = (22.92m² x 3W) = 68W
BALCONY & ALFRESCO MAXIMUM WATTAGE ALLOWED = (00.00m² x 4W) = 000W
EXTERNAL LIGHTING (INCL PORCH) (MINIMUM 40 Lumens/Watt)

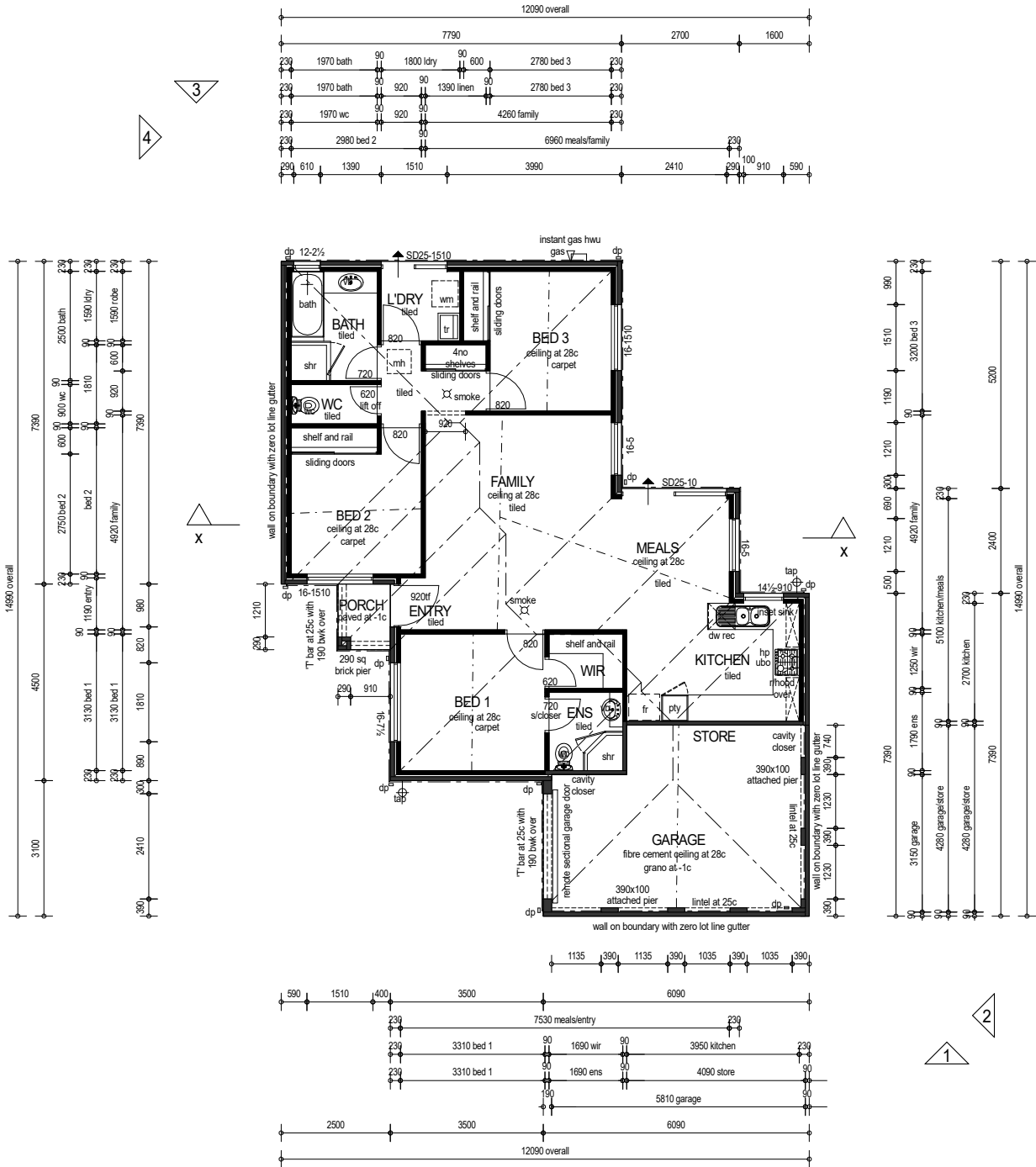
NOTE:
Light and fan positions may vary slightly to avoid roof structure over



UNIT 9
ELECTRICAL PLAN

Note:
Face brick to be 290x162x90 laid in one third bond
Carpet to all bedrooms and robes
450sq tiles to kitchen, family, meals and entry
Vertical blinds to all windows (excluding sliding doors)

HOUSE	100.75 m²
GARAGE/STORE	24.43 m²
PORCH	1.80 m²
TOTAL	126.98 m²
PERIMETER	47.96 m

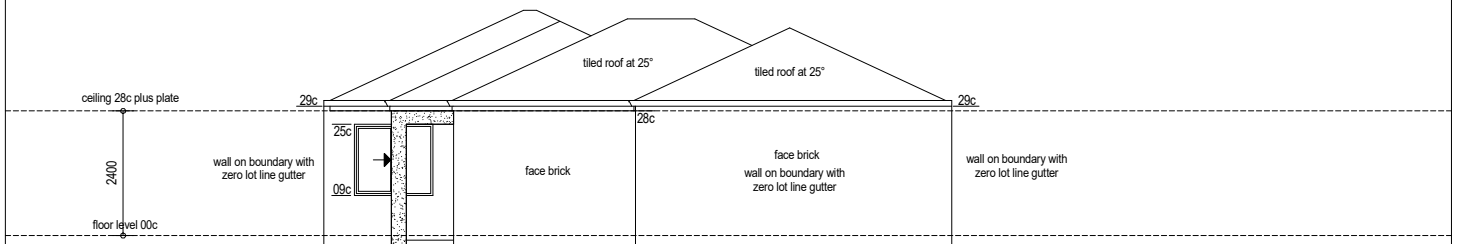


UNIT 10
FLOOR PLAN

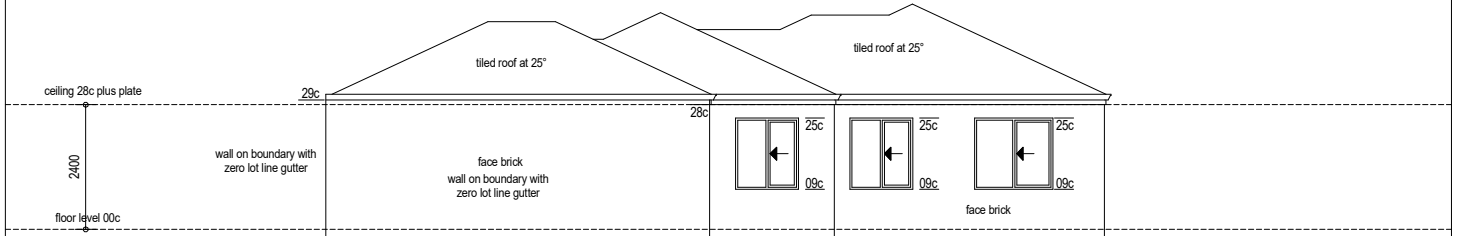
PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

Scale 1:100

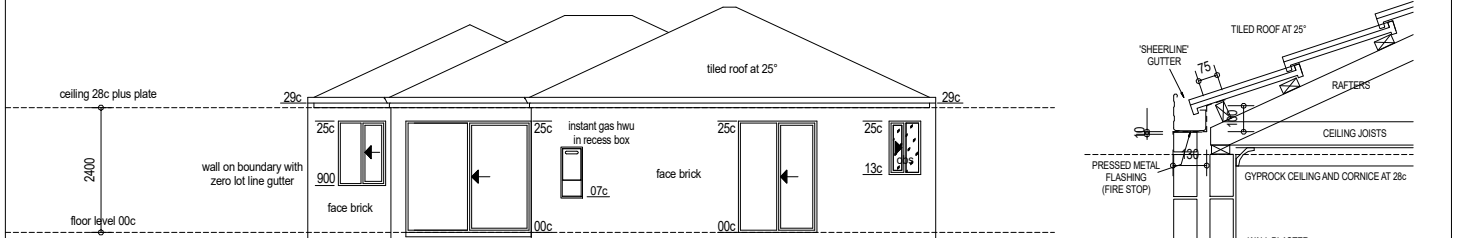
NOTE: ALL INTERNAL DIMENSIONS ARE TO BRICK SIZE ONLY NOT FINISHED SIZES



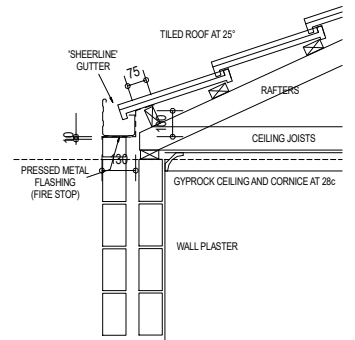
ELEVATION 1



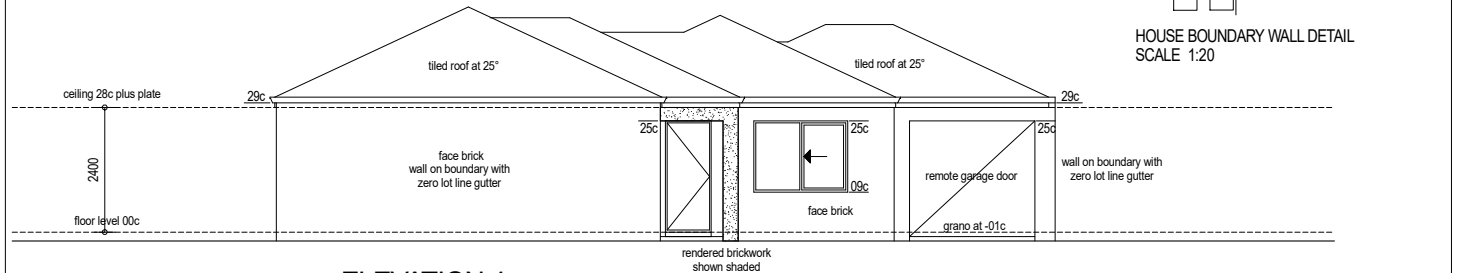
ELEVATION 2



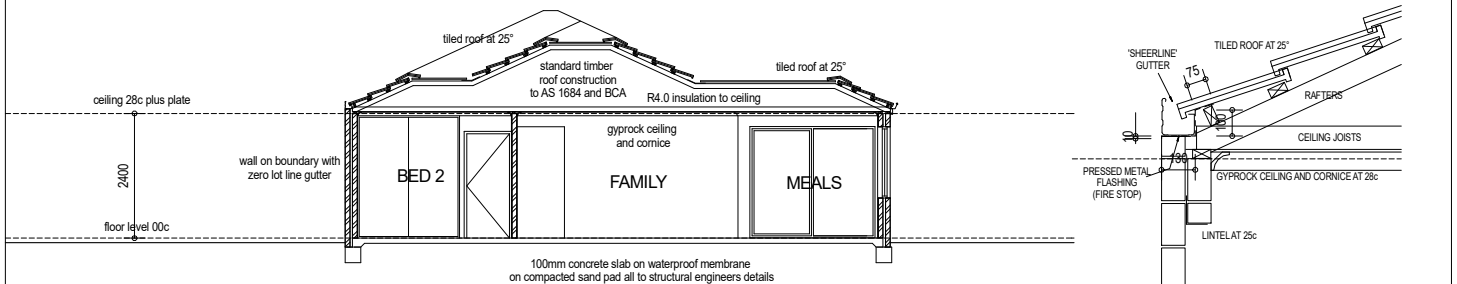
ELEVATION 3



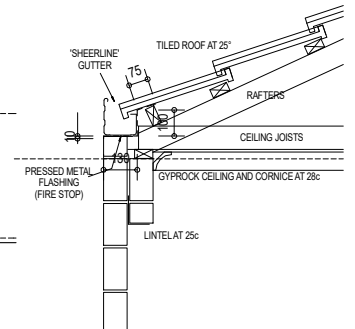
HOUSE BOUNDARY WALL DETAIL
SCALE 1:20



ELEVATION 4



SECTION X-X

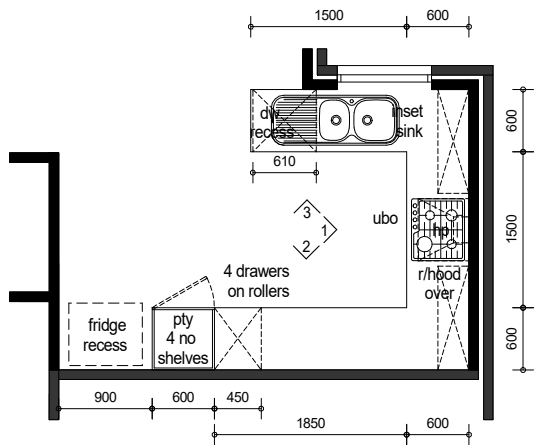


GARAGE BOUNDARY WALL DETAIL
SCALE 1:20

UNIT 10 ELEVATIONS

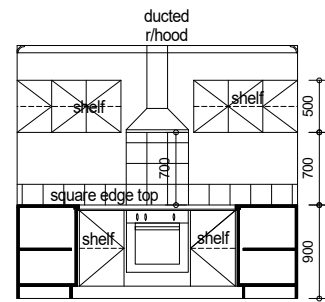
PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

Scale 1:100

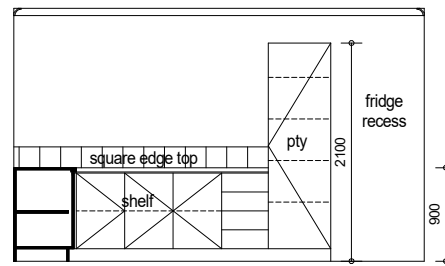


KITCHEN LAYOUT

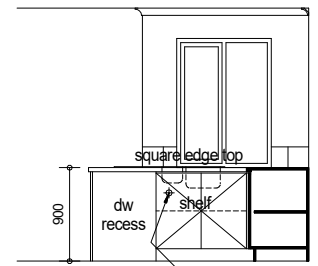
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



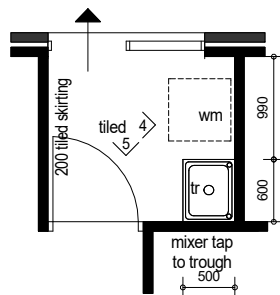
ELEVATION 1



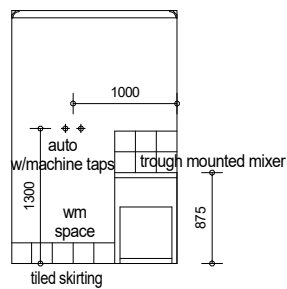
ELEVATION 2



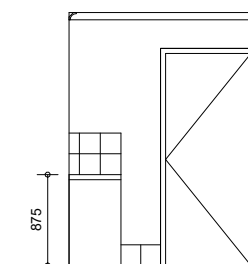
ELEVATION 3



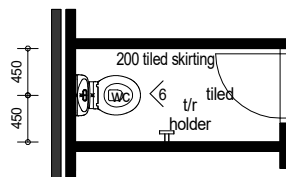
LAUNDRY LAYOUT



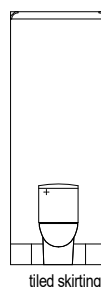
ELEVATION 4



ELEVATION 5

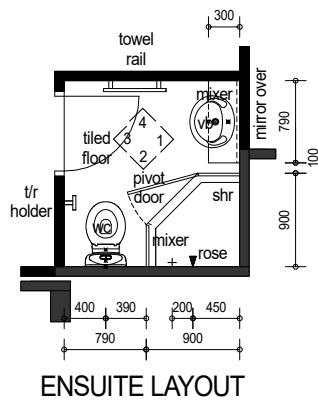


WC LAYOUT

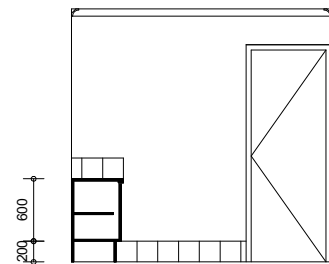
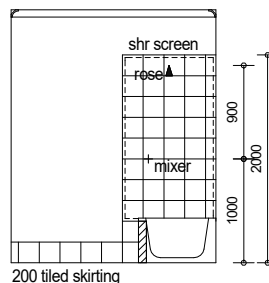
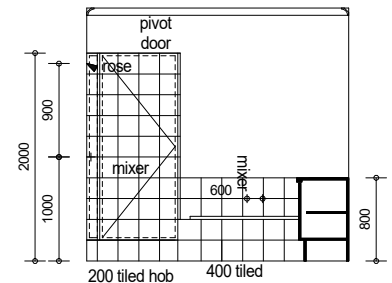
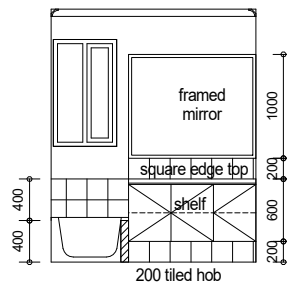
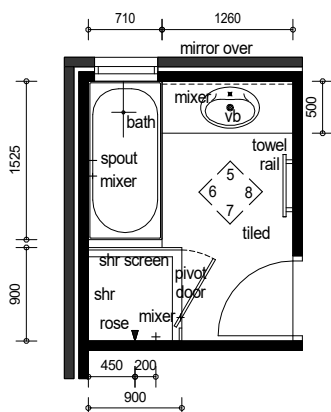
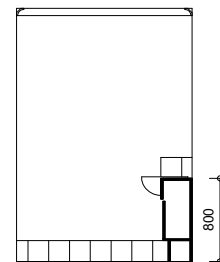
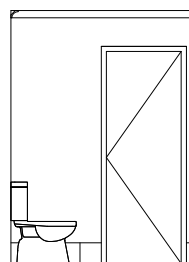
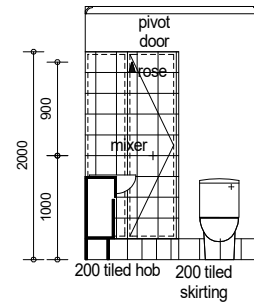
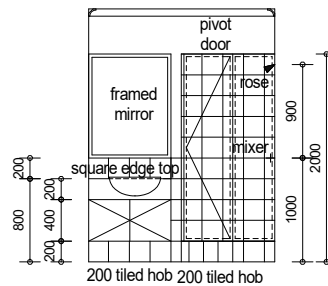


ELEVATION 6

UNIT 10 INTERNALS 1



NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



UNIT 10 INTERNALS 2

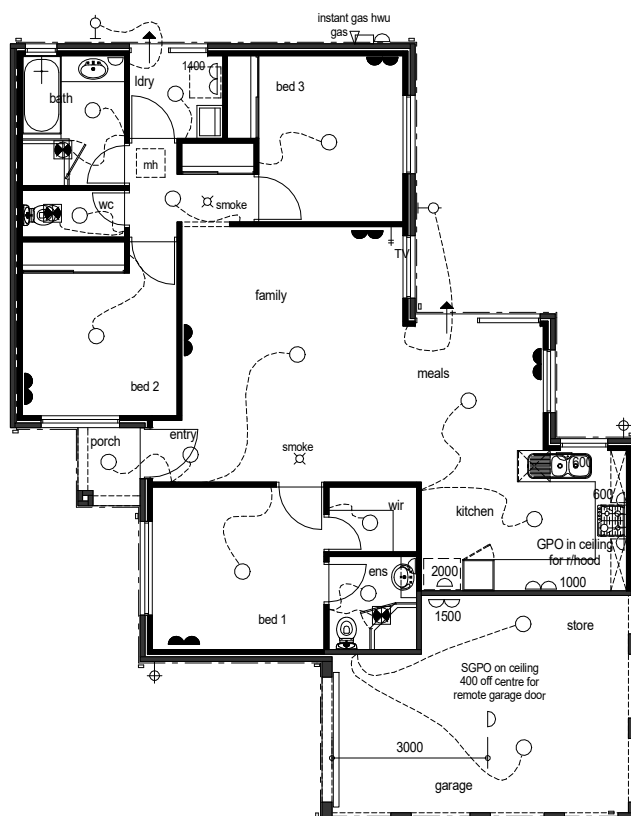
⊖	WALL LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⊗	EXHAUST FAN (FLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS CONNECTION POINT
⊙	CEILING LIGHT (FLUORO BULB - 12W = 60W HALOGEN)	⊗	EXHAUST FAN (UNFLUMED) WITH AUTO DAMPERS	▽	GAS NEGUS POINT
⊕	CEILING LIGHT (FLUORO BULB - 15W = 75W HALOGEN)	⊗	IXL TASTIC 3 IN 1	□ _{ov}	CEILING VENT
○	CEILING LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⬤	SINGLE GPO 300 ABOVE FL.	WY	WALL VENT
⊙	RECESSED DOWNLIGHT (LED = 15W)	⬤	DOUBLE GPO 300 ABOVE FL.	→ PH	PHONE POINT
⊖	FLUORO LIGHT SINGULAR 1200 (36W)	⬤	SINGLE GPO 900 ABOVE FL. (OR AS NOTED)	→ TV	TV POINT
⊗	WALL EXHAUST FAN	⬤	DOUBLE GPO 900 ABOVE FL. (OR AS NOTED)	⊗	SMOKE DETECTOR HARD WIRED TO AUST. STANDARD 3786

ARTIFICIAL LIGHTING REQUIREMENTS

HOUSE MAXIMUM WATTAGE ALLOWED = (90.92m² x 5W) = 454W
GARAGE & STORE MAXIMUM WATTAGE ALLOWED = (22.92m² x 3W) = 68W
BALCONY & ALFRESCO MAXIMUM WATTAGE ALLOWED = (00.00m² x 4W) = 000W
EXTERNAL LIGHTING (INCL PORCH) (MINIMUM 40 Lumens/Watt)

NOTE:

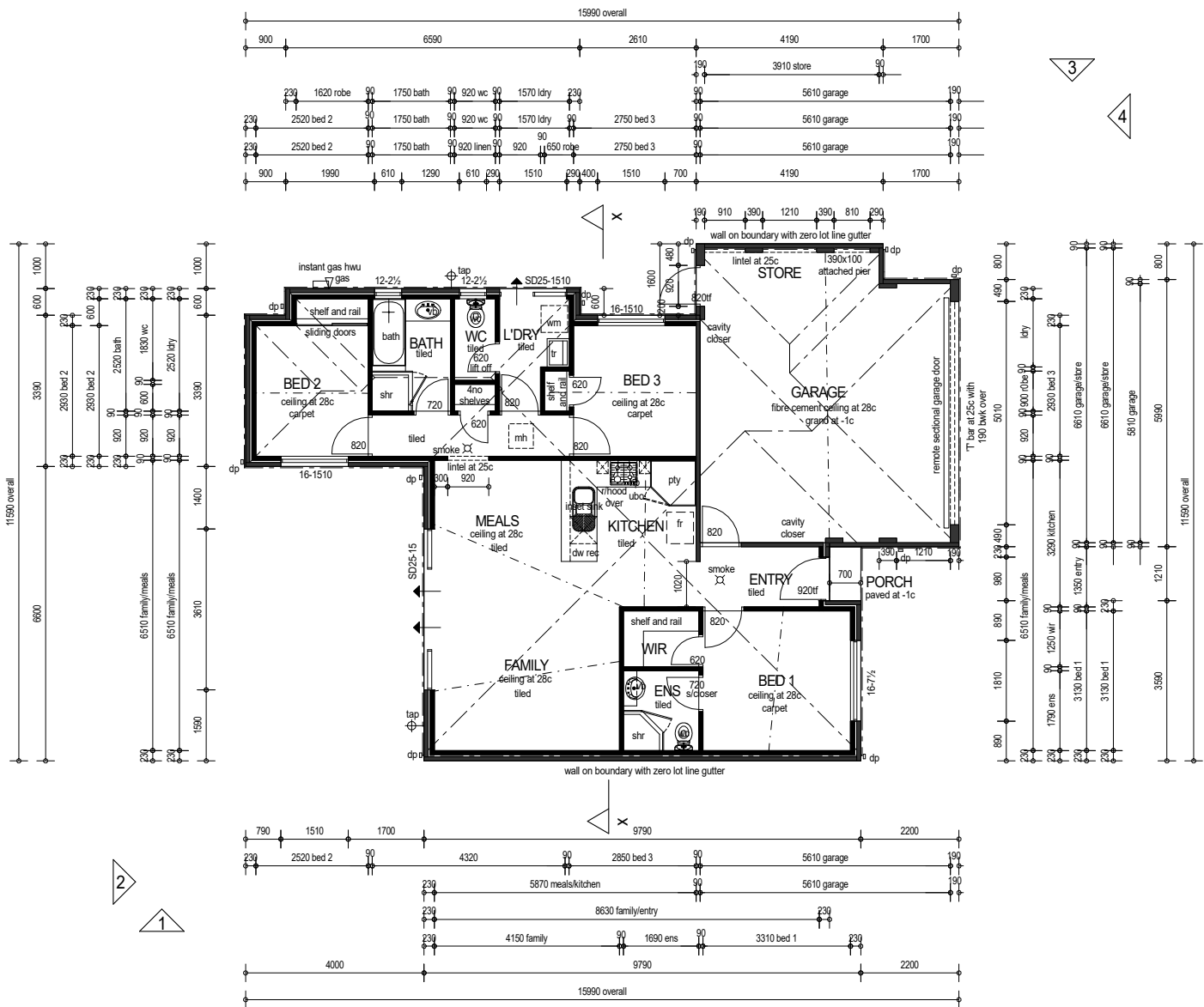
Light and fan positions may vary slightly to avoid roof structure over



UNIT 10 ELECTRICAL PLAN

Note:
Face brick to be 290x162x90 laid in one third bond
Carpet to all bedrooms and robes
450sq tiles to kitchen, family, meals and entry
Vertical blinds to all windows (excluding sliding doors)

HOUSE	96.05 m²
GARAGE/STORE	37.91 m²
PORCH	0.85 m²
TOTAL	134.81 m²
PERIMETER	48.76 m

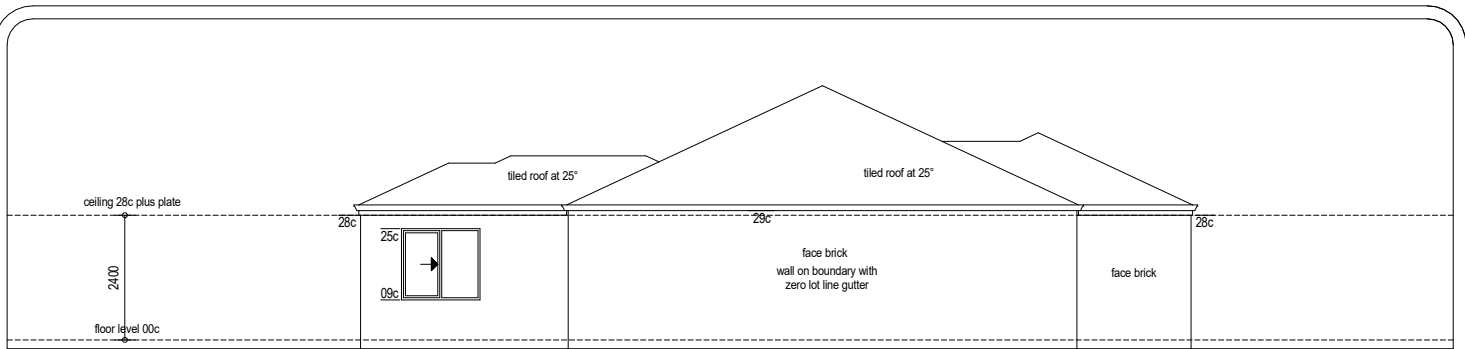


UNIT 11 FLOOR PLAN

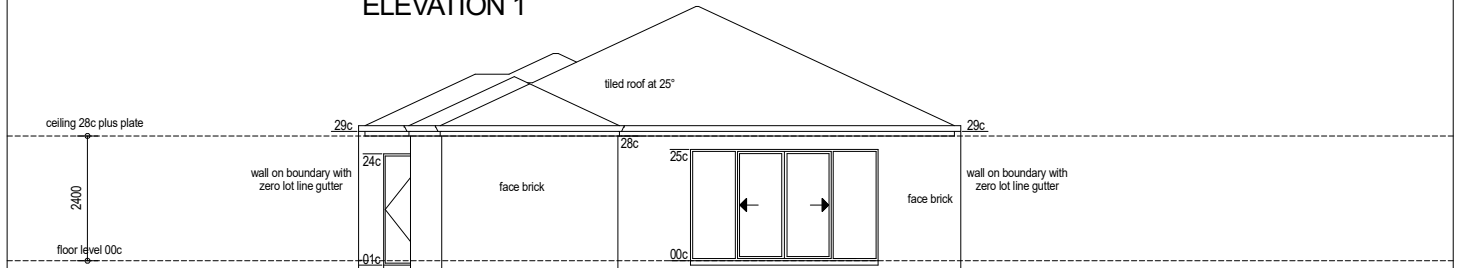
PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

Scale 1:100

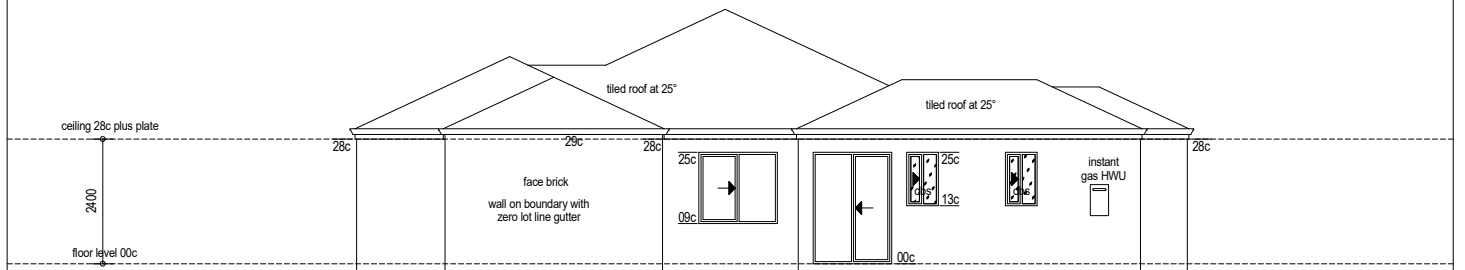
NOTE: ALL INTERNAL DIMENSIONS ARE TO BRICK SIZE ONLY NOT FINISHED SIZES



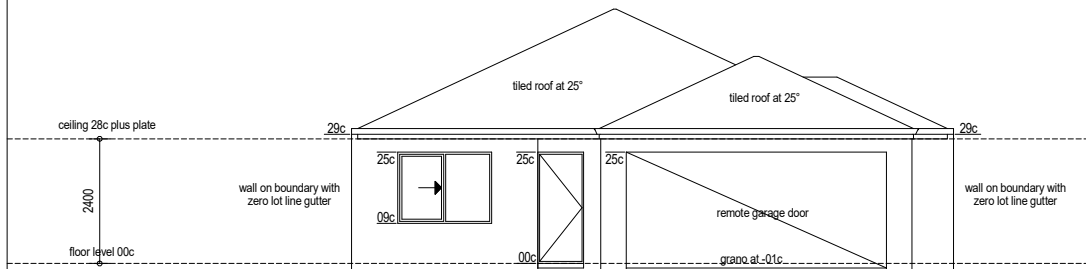
ELEVATION 1



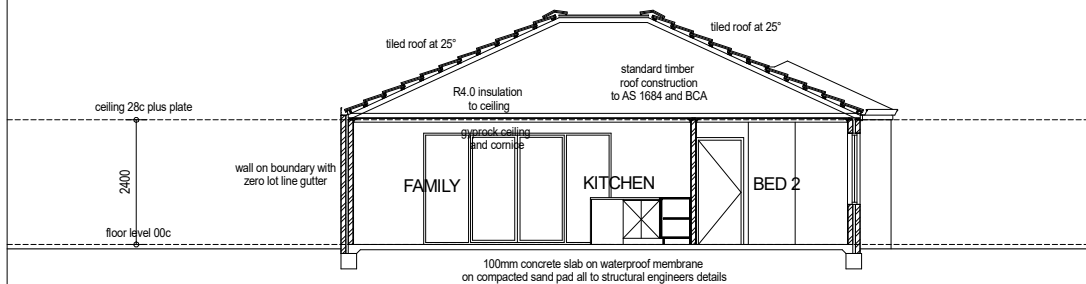
ELEVATION 2



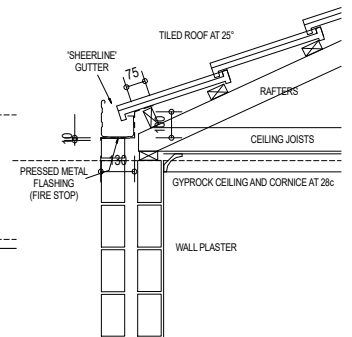
ELEVATION 3



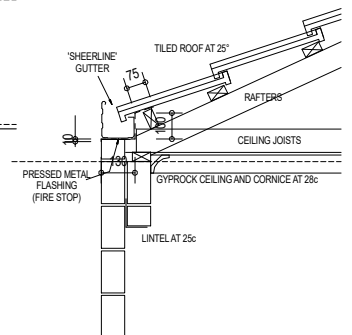
ELEVATION 4



SECTION X-X



HOUSE BOUNDARY WALL DETAIL
SCALE 1:20

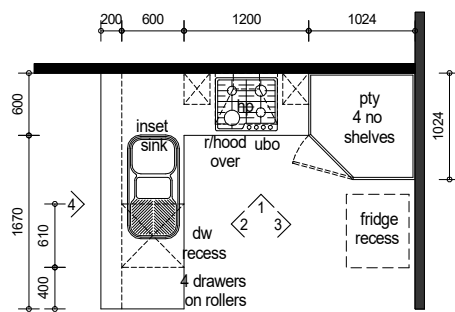


GARAGE BOUNDARY WALL DETAIL
SCALE 1:20

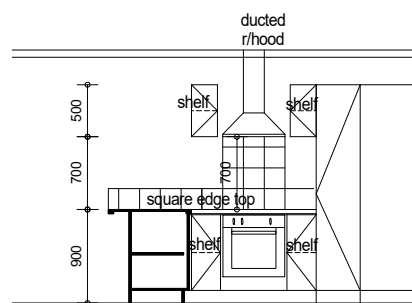
UNIT 11 ELEVATIONS

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

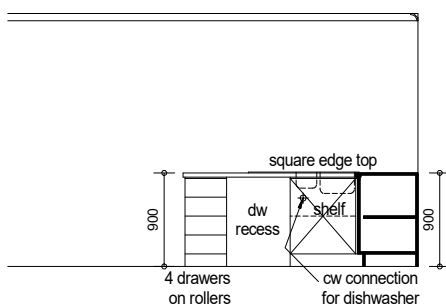
Scale 1:100



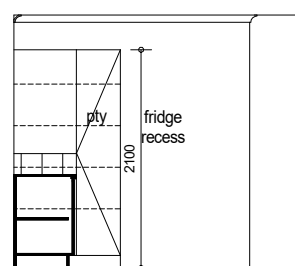
KITCHEN LAYOUT



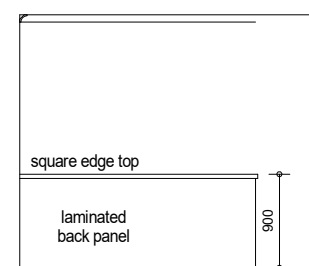
ELEVATION 1



ELEVATION 2

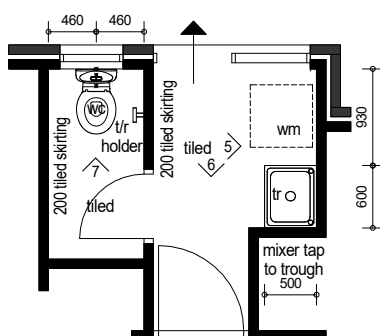


ELEVATION 3

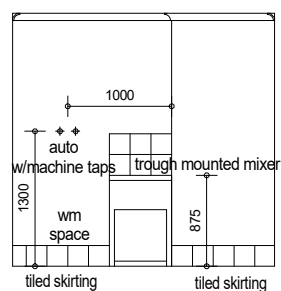


ELEVATION 4

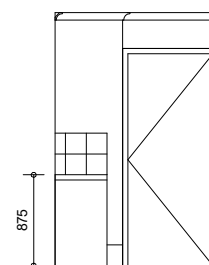
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



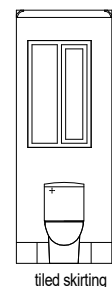
LAUNDRY/WC LAYOUT



ELEVATION 5

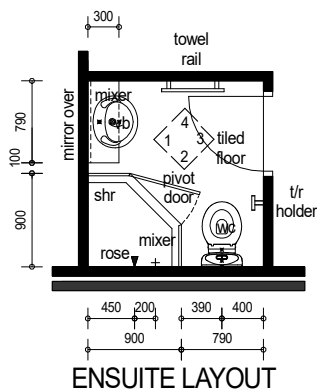


ELEVATION 6

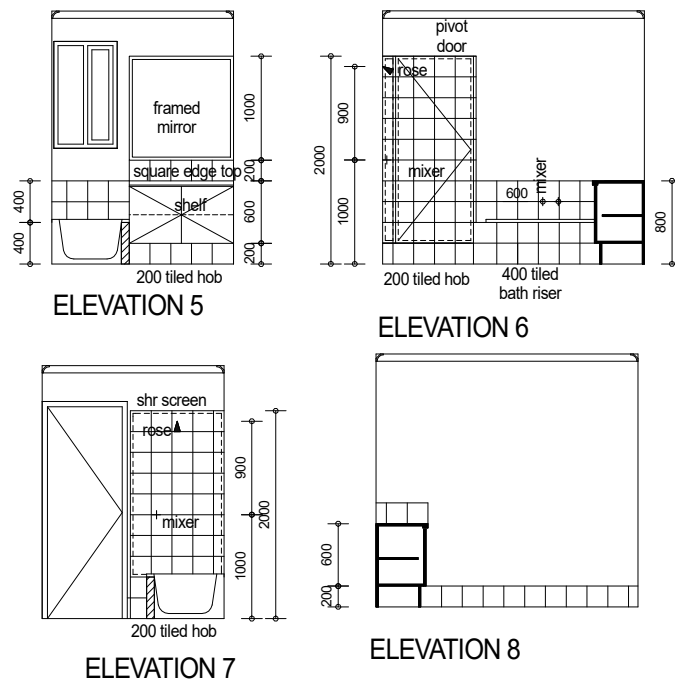
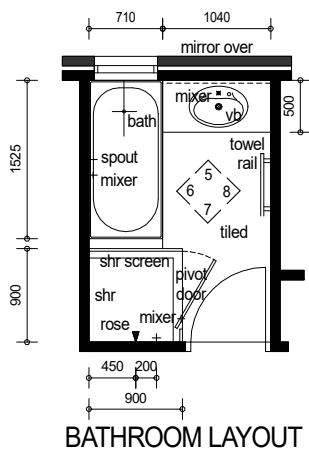
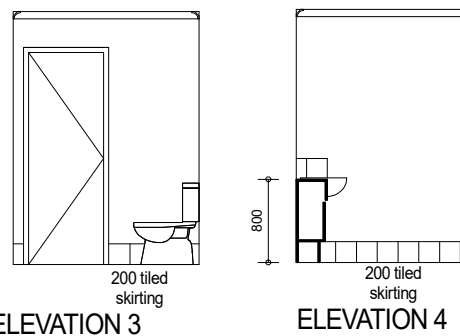
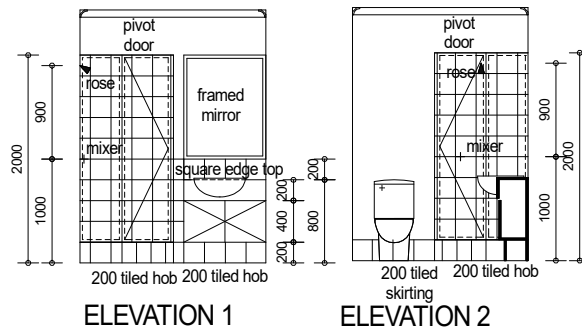


ELEVATION 7

UNIT 11 INTERNALS 1



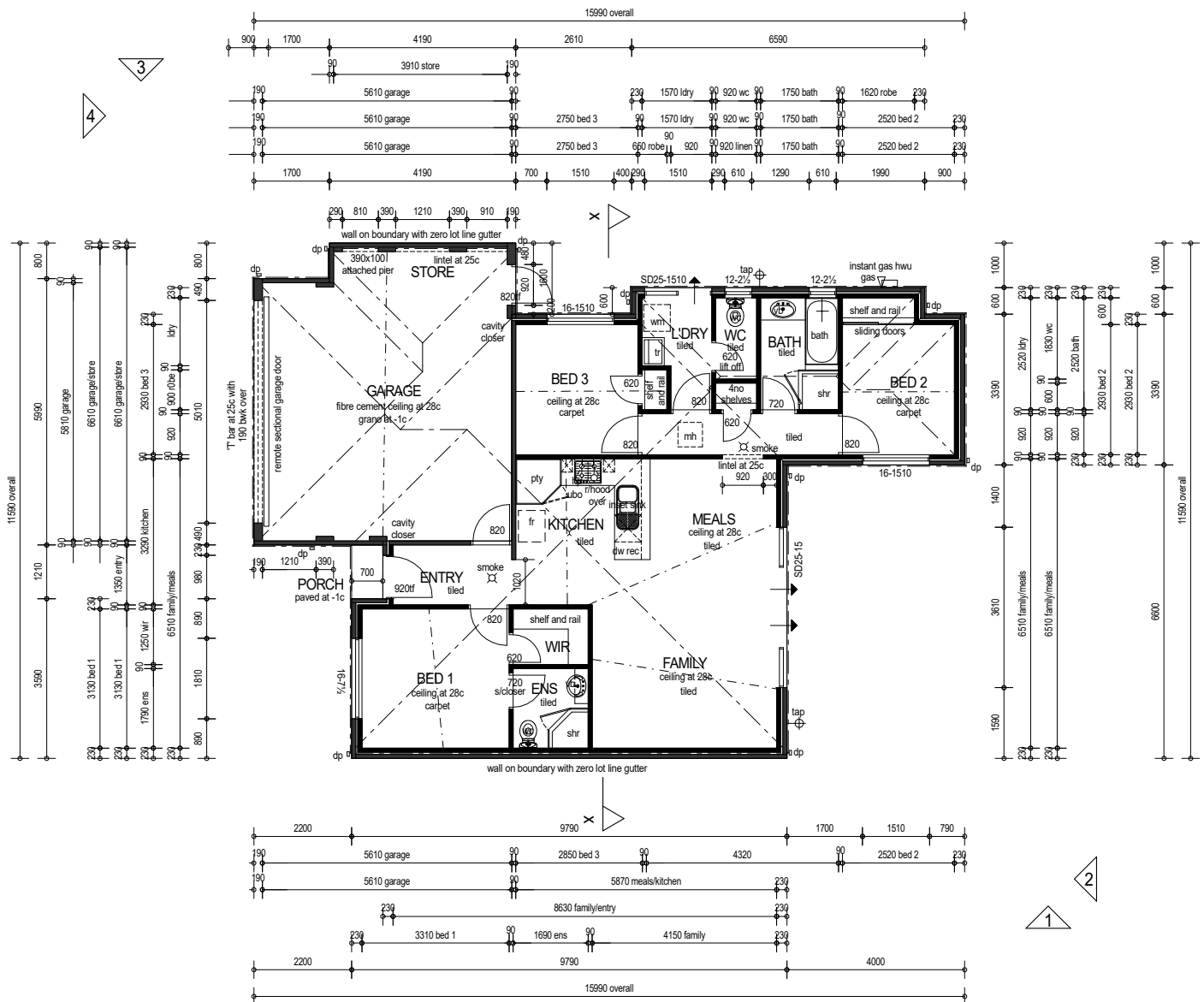
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



UNIT 11 INTERNALS 2

Note:
 Face brick to be 290x162x90 laid in one third bond
 Carpet to all bedrooms and robes
 450sq tiles to kitchen, family, meals and entry
 Vertical blinds to all windows (excluding sliding doors)

HOUSE	96.05 m²
GARAGE/STORE	37.91 m²
PORCH	0.85 m²
TOTAL	134.81 m²
PERIMETER	48.76 m

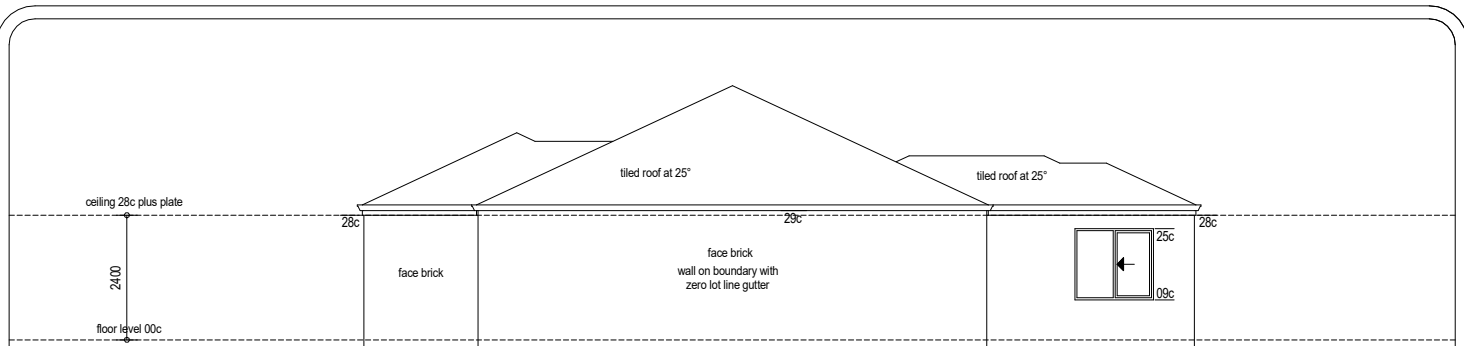


UNIT 12 FLOOR PLAN

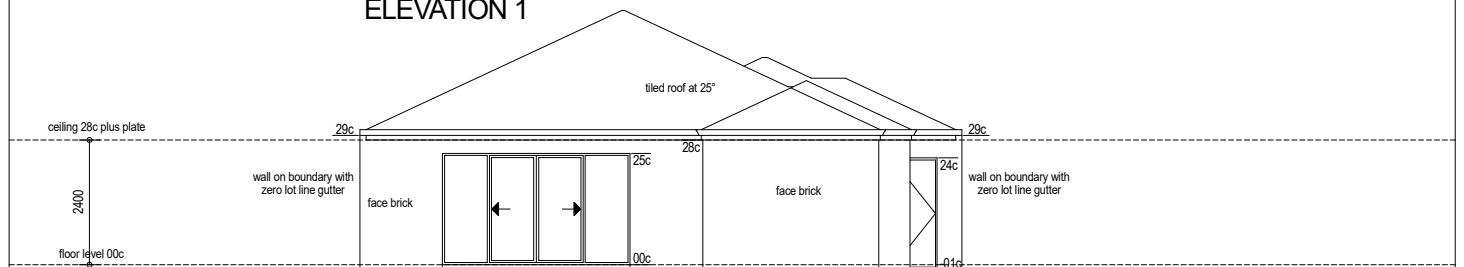
PROPOSED DEVELOPMENT
 18-20 Fifth Road, ARMADALE

Scale 1:100

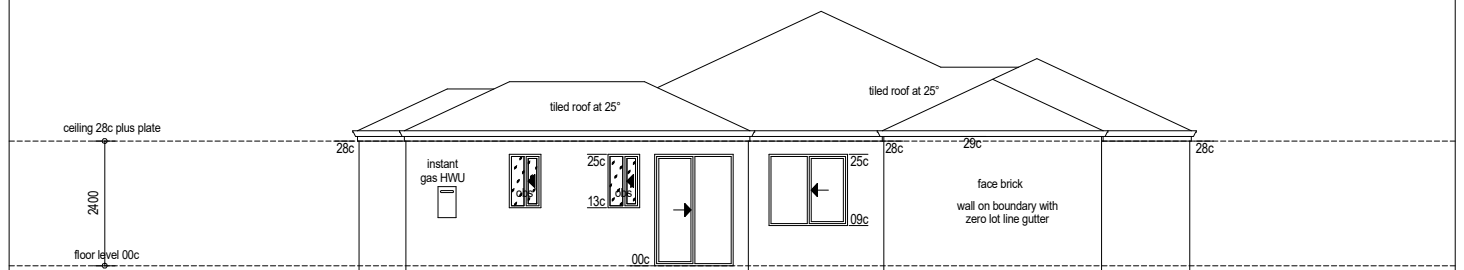
NOTE: ALL INTERNAL DIMENSIONS ARE TO BRICK SIZE ONLY NOT FINISHED SIZES



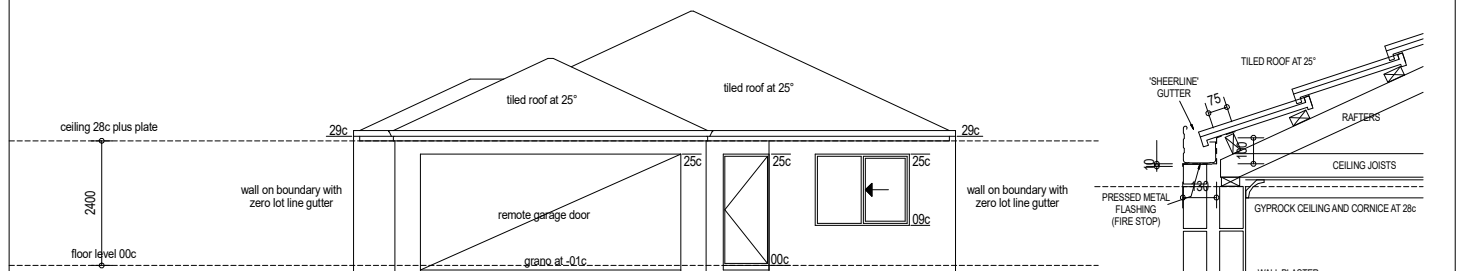
ELEVATION 1



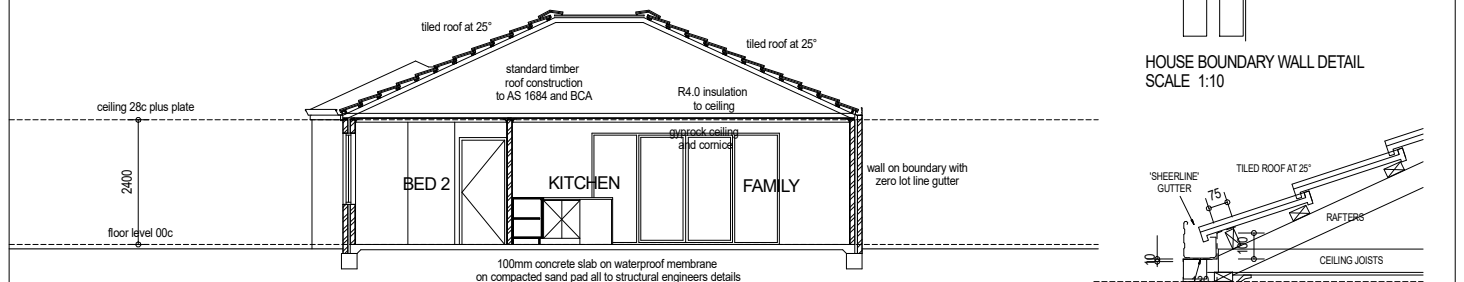
ELEVATION 2



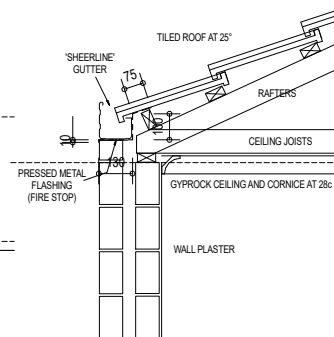
ELEVATION 3



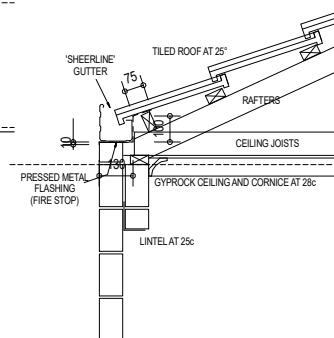
ELEVATION 4



SECTION X-X



HOUSE BOUNDARY WALL DETAIL
SCALE 1:10

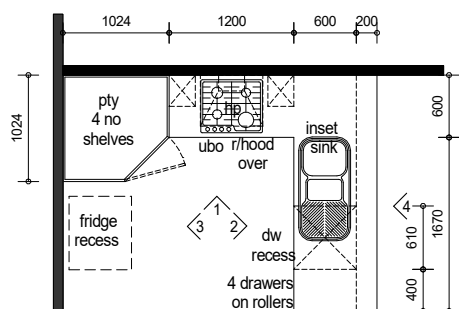


GARAGE BOUNDARY WALL DETAIL
SCALE 1:10

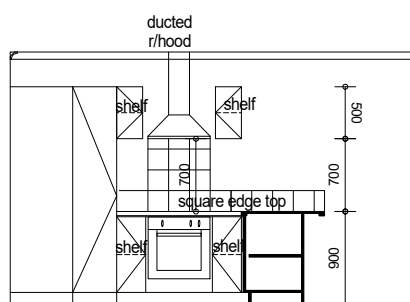
UNIT 12 ELEVATIONS

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

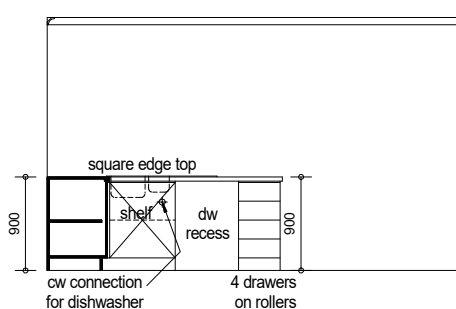
Scale 1:100



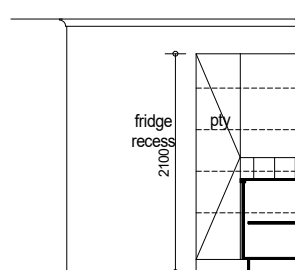
KITCHEN LAYOUT



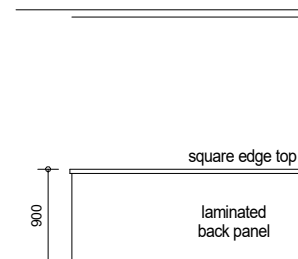
ELEVATION 1



ELEVATION 2

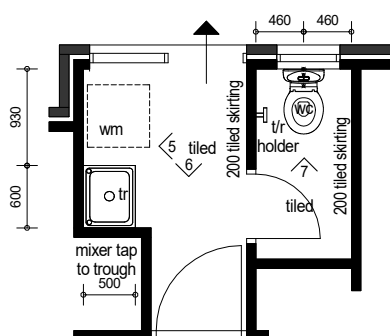


ELEVATION 3

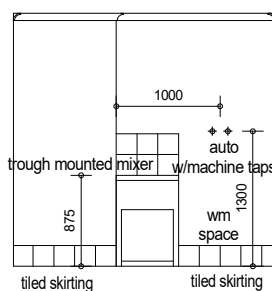


ELEVATION 4

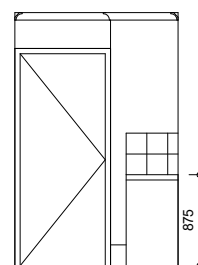
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



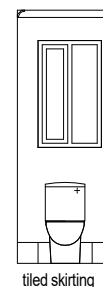
LAUNDRY/WC LAYOUT



ELEVATION 5

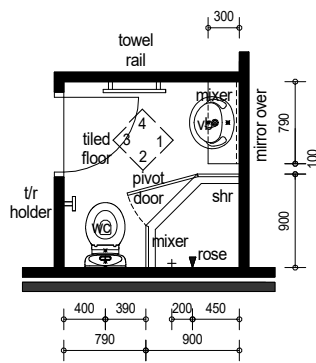


ELEVATION 6



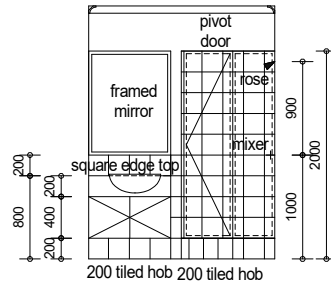
ELEVATION 7

UNIT 12 INTERNALS 1

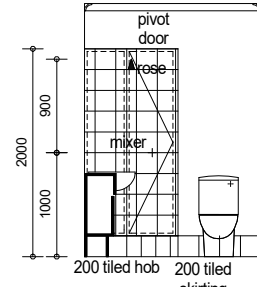


ENSUITE LAYOUT

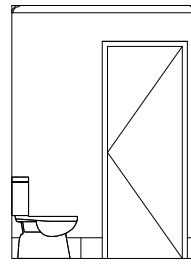
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



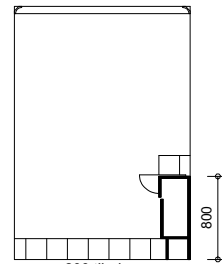
ELEVATION 1



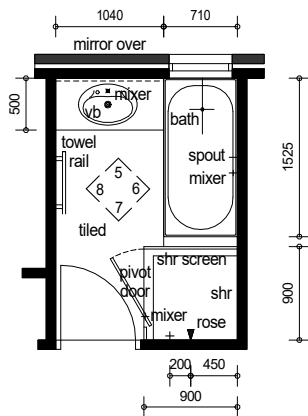
ELEVATION 2



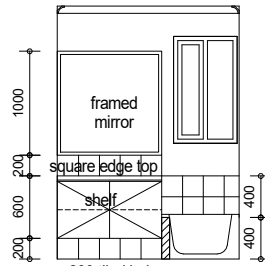
ELEVATION 3



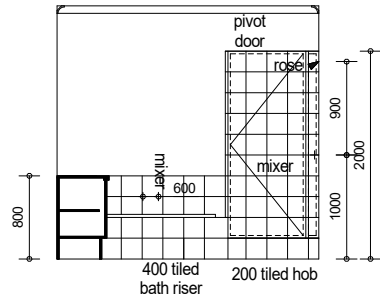
ELEVATION 4



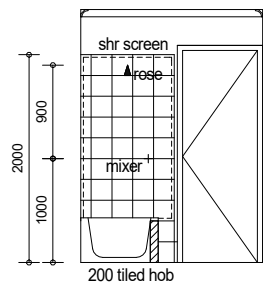
BATHROOM LAYOUT



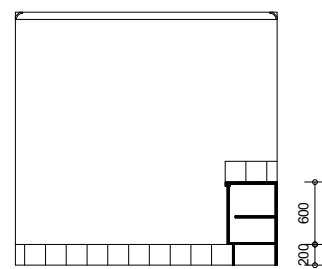
ELEVATION 5



ELEVATION 6



ELEVATION 7



ELEVATION 8

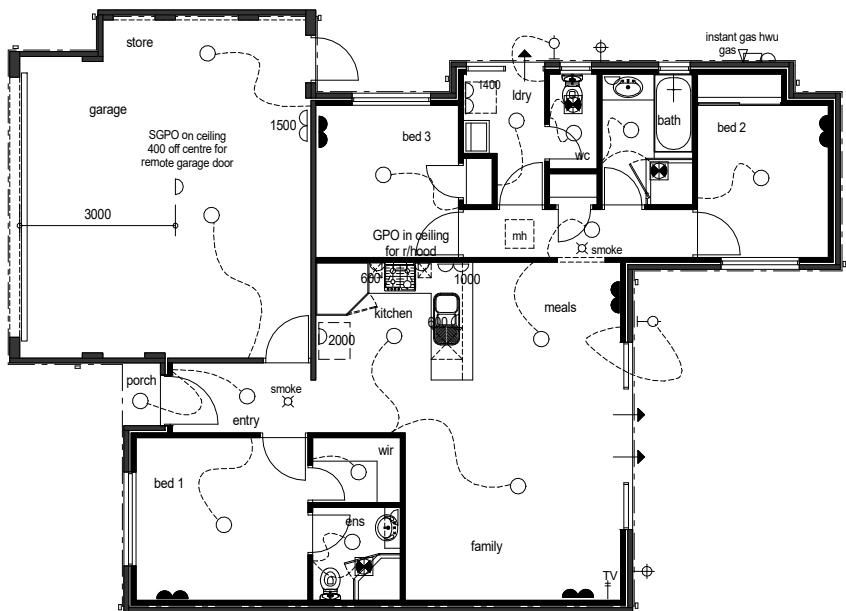
UNIT 12 INTERNALS 2

⊖	WALL LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⊖	EXHAUST FAN (FLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS CONNECTION POINT
●	CEILING LIGHT (FLUORO BULB - 12W = 60W HALOGEN)	⊗	EXHAUST FAN (UNFLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS NEGUS POINT
⊙	CEILING LIGHT (FLUORO BULB - 15W = 75W HALOGEN)	⊗	IXL TASTIC 3 IN 1	□ _{cv}	CEILING VENT
○	CEILING LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⬤	SINGLE GPO 300 ABOVE FL.	WY	WALL VENT
⊙	RECESSED DOWNLIGHT (LED = 15W)	⬤	DOUBLE GPO 300 ABOVE FL.	→ PH	PHONE POINT
⊖	FLUORO LIGHT SINGULAR 1200 (36W)	⬤	SINGLE GPO 900 ABOVE FL. (OR AS NOTED)	→ TV	TV POINT
⊖	WALL EXHAUST FAN	⬤	DOUBLE GPO 900 ABOVE FL. (OR AS NOTED)	⊗	SMOKE DETECTOR HARD WIRED TO AUST. STANDARD 3786

ARTIFICIAL LIGHTING REQUIREMENTS

HOUSE MAXIMUM WATTAGE ALLOWED = (86.14m² x 5W) = 430W
GARAGE & STORE MAXIMUM WATTAGE ALLOWED = (35.80m² x 3W) = 107W
BALCONY & ALFRESCO MAXIMUM WATTAGE ALLOWED = (00.00m² x 4W) = 000W
EXTERNAL LIGHTING (INCL PORCH) (MINIMUM 40 Lumens/Watt)

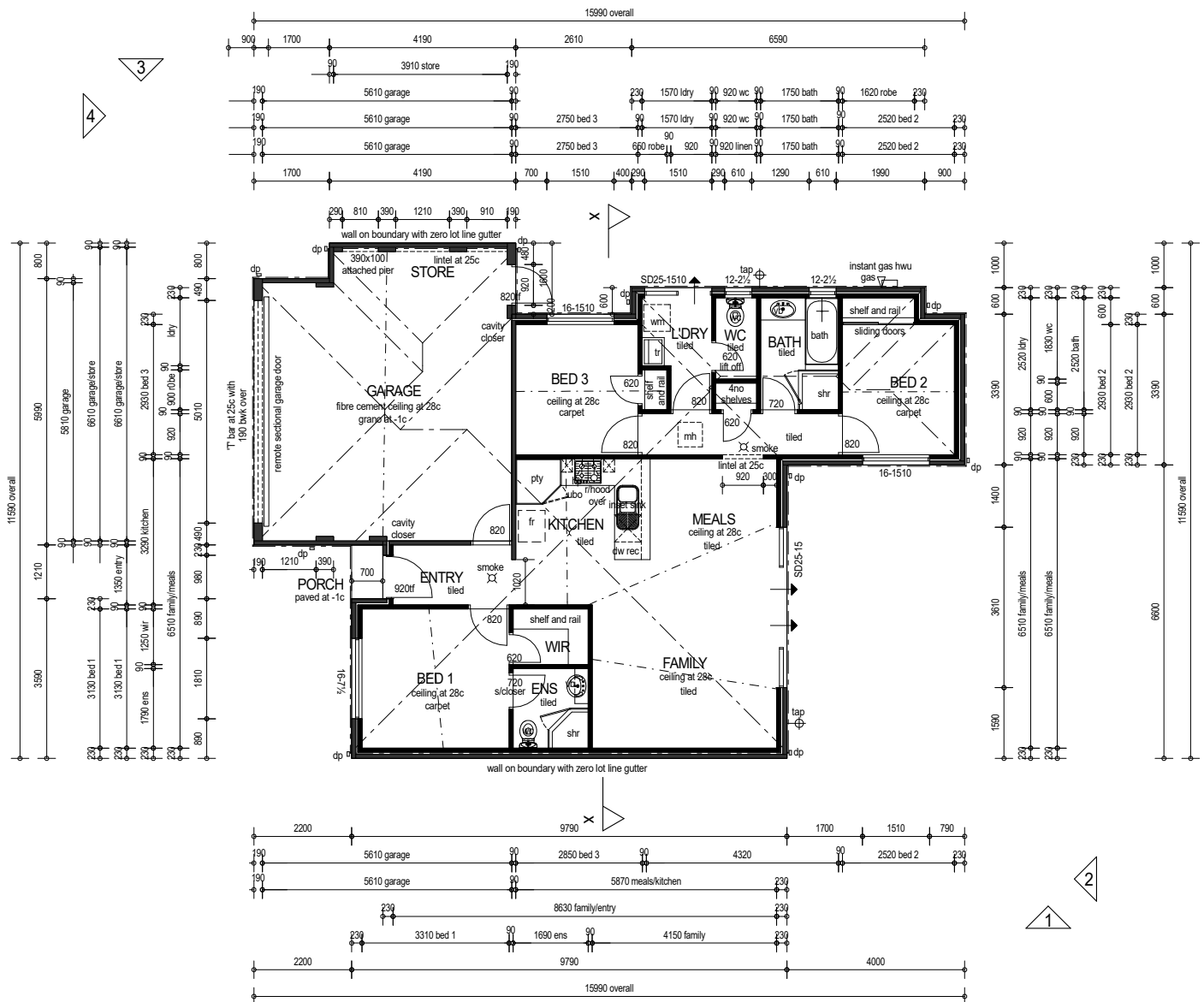
NOTE:
Light and fan positions may vary slightly to avoid roof structure over



UNIT 12
ELECTRICAL PLAN

Note:
 Face brick to be 290x162x90 laid in one third bond
 Carpet to all bedrooms and robes
 450sq tiles to kitchen, family, meals and entry
 Vertical blinds to all windows (excluding sliding doors)

HOUSE	96.05 m²
GARAGE/STORE	37.91 m²
PORCH	0.85 m²
TOTAL	134.81 m²
PERIMETER	48.76 m

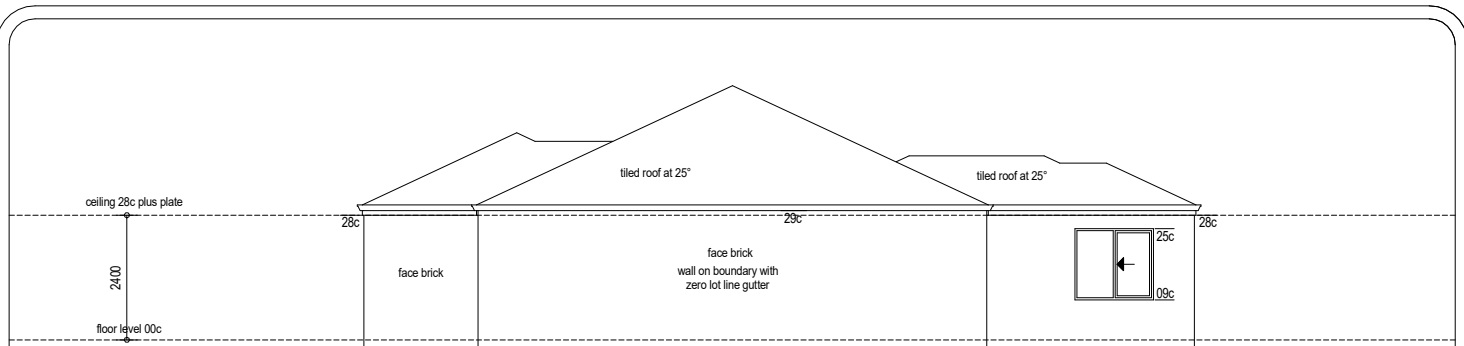


UNIT 13 FLOOR PLAN

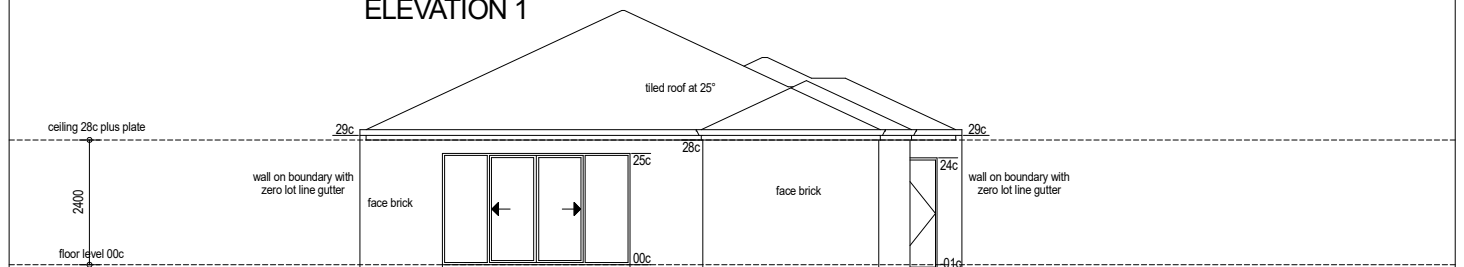
PROPOSED DEVELOPMENT
 18-20 Fifth Road, ARMADALE

Scale 1:100

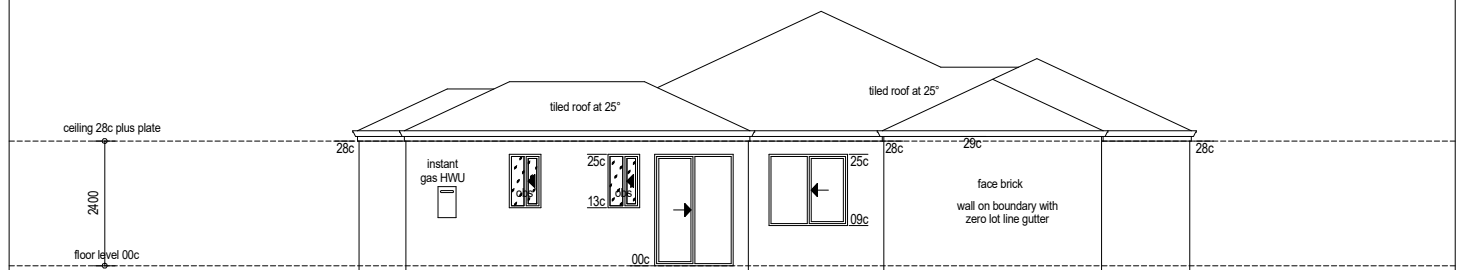
NOTE: ALL INTERNAL DIMENSIONS ARE TO BRICK SIZE ONLY NOT FINISHED SIZES



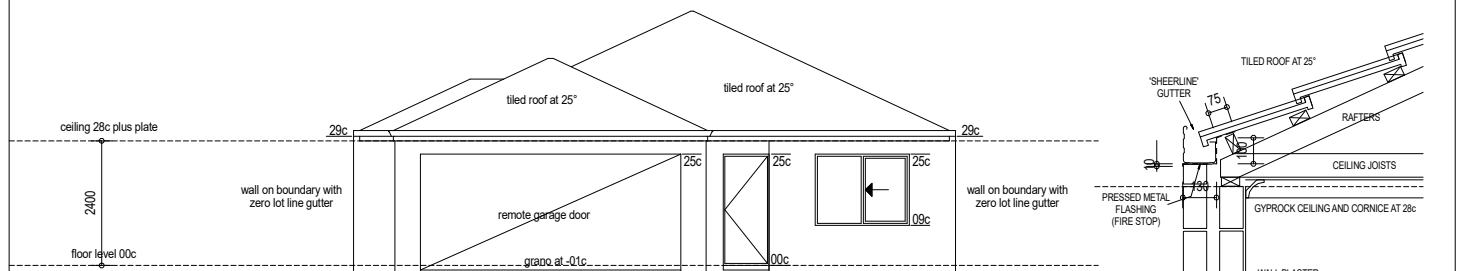
ELEVATION 1



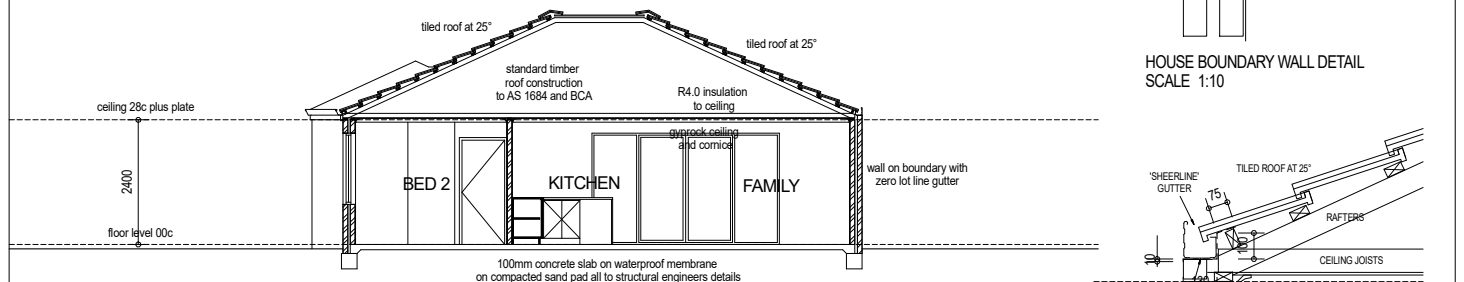
ELEVATION 2



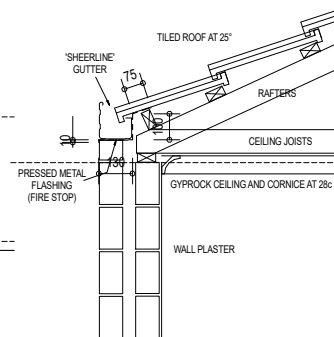
ELEVATION 3



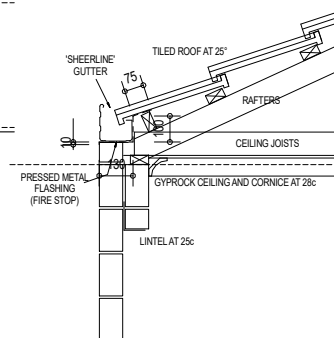
ELEVATION 4



SECTION X-X



HOUSE BOUNDARY WALL DETAIL
SCALE 1:10

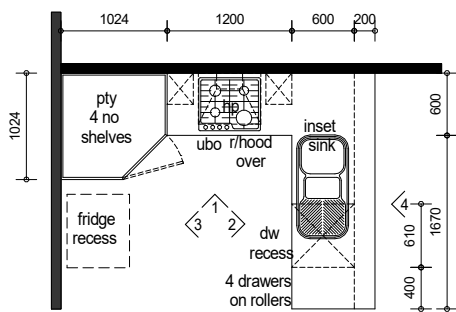


GARAGE BOUNDARY WALL DETAIL
SCALE 1:10

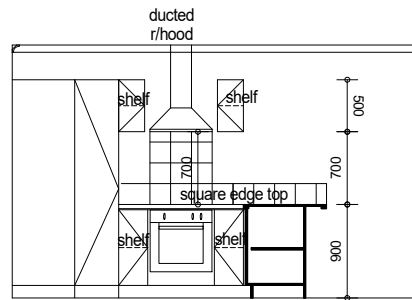
UNIT 13 ELEVATIONS

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

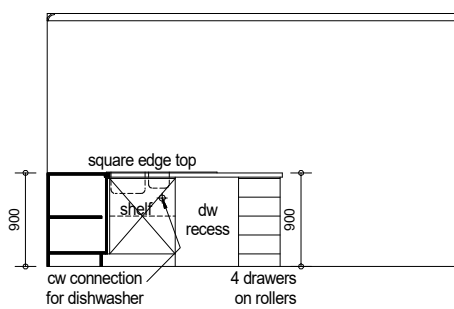
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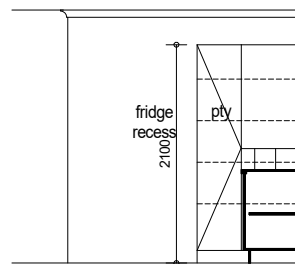
KITCHEN LAYOUT



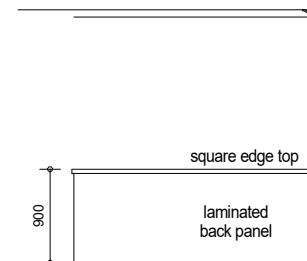
ELEVATION 1



ELEVATION 2

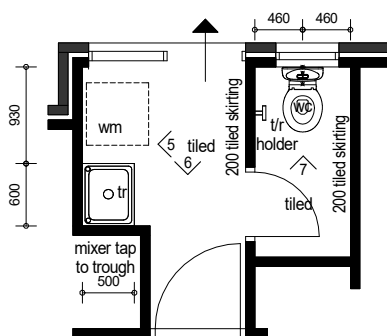


ELEVATION 3

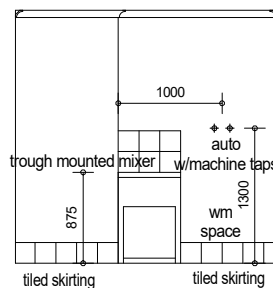


ELEVATION 4

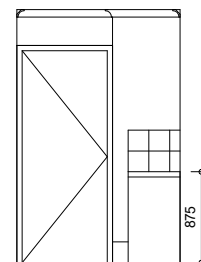
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



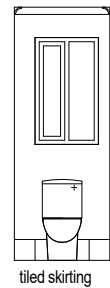
LAUNDRY/WC LAYOUT



ELEVATION 5

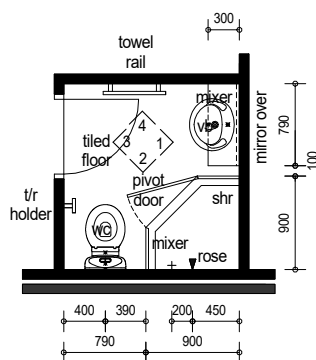


ELEVATION 6



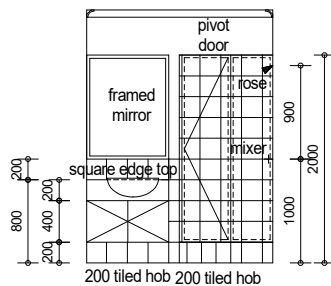
ELEVATION 7

UNIT 13 INTERNALS 1

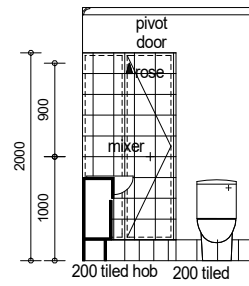


ENSUITE LAYOUT

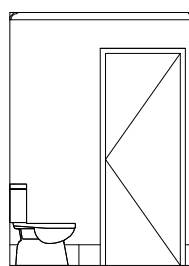
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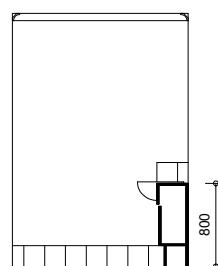
ELEVATION 1



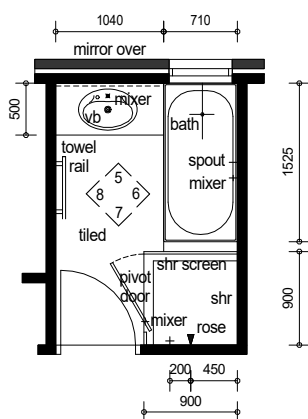
ELEVATION 2



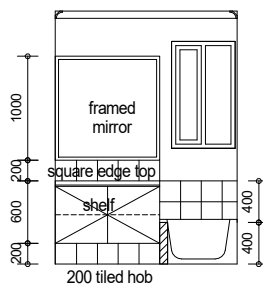
ELEVATION 3



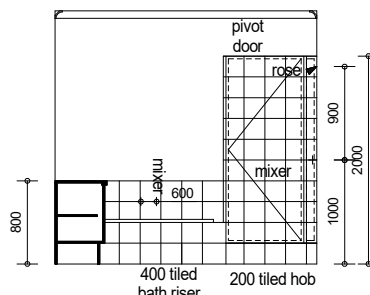
ELEVATION 4



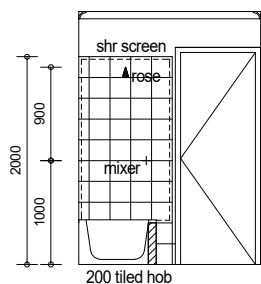
BATHROOM LAYOUT



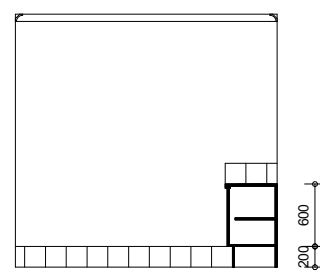
ELEVATION 5



ELEVATION 6



ELEVATION 7



ELEVATION 8

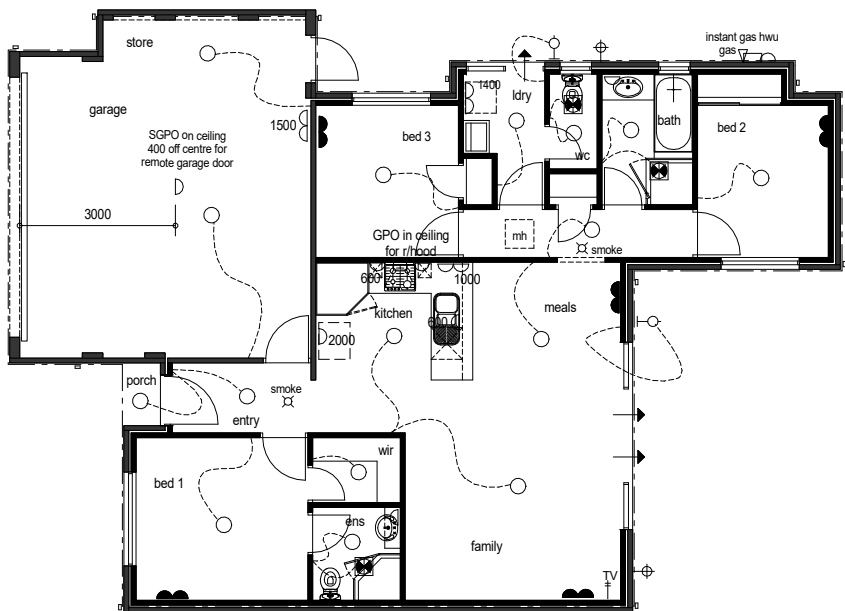
UNIT 13 INTERNALS 2

⊖	WALL LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⊖	EXHAUST FAN (FLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS CONNECTION POINT
●	CEILING LIGHT (FLUORO BULB - 12W = 60W HALOGEN)	⊗	EXHAUST FAN (UNFLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS NEGUS POINT
⊙	CEILING LIGHT (FLUORO BULB - 15W = 75W HALOGEN)	⊗	IXL TASTIC 3 IN 1	□ _{cv}	CEILING VENT
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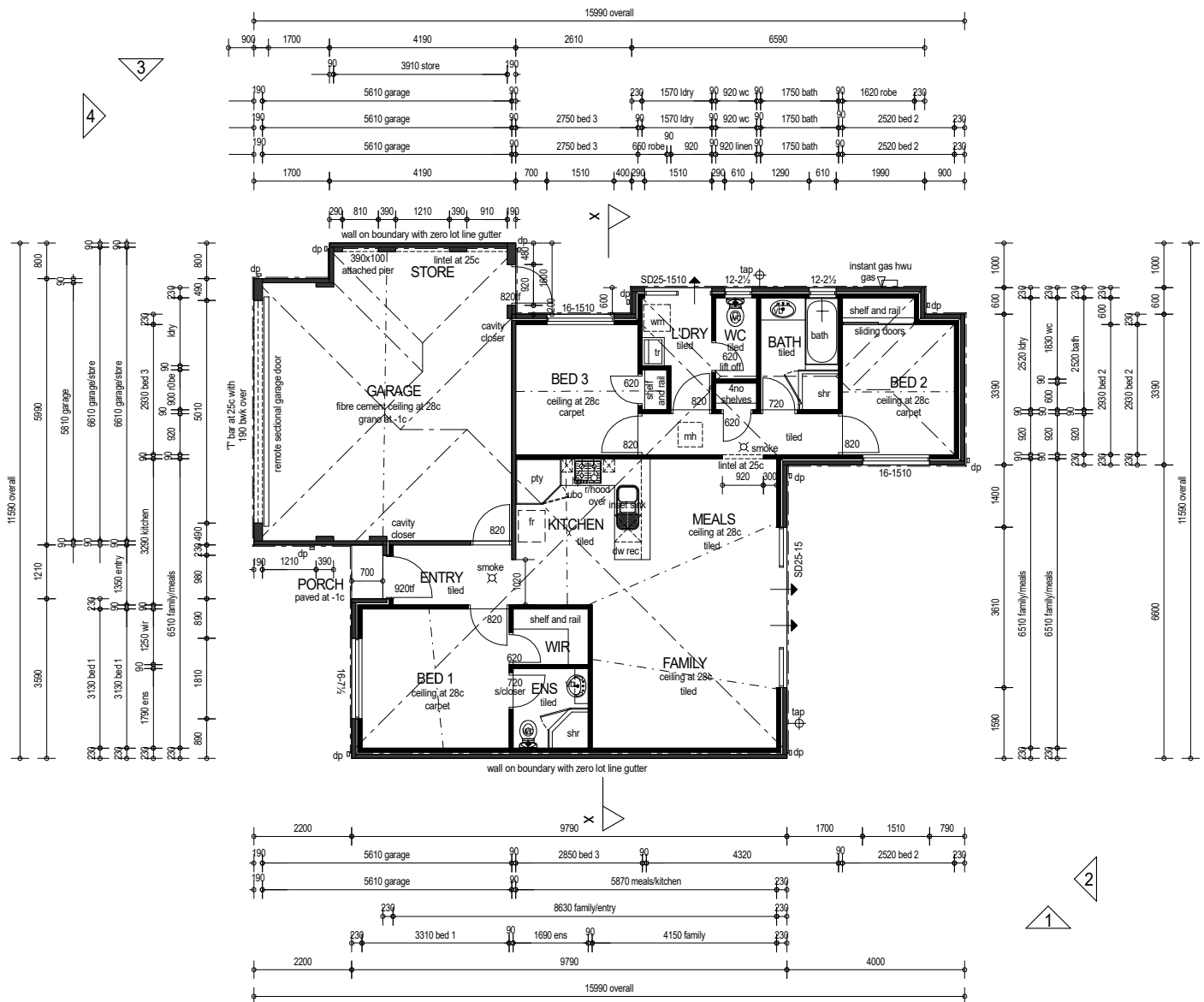
NOTE:
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UNIT 13
ELECTRICAL PLAN

Note:
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 Carpet to all bedrooms and robes
 450sq tiles to kitchen, family, meals and entry
 Vertical blinds to all windows (excluding sliding doors)

HOUSE	96.05 m²
GARAGE/STORE	37.91 m²
PORCH	0.85 m²
TOTAL	134.81 m²
PERIMETER	48.76 m

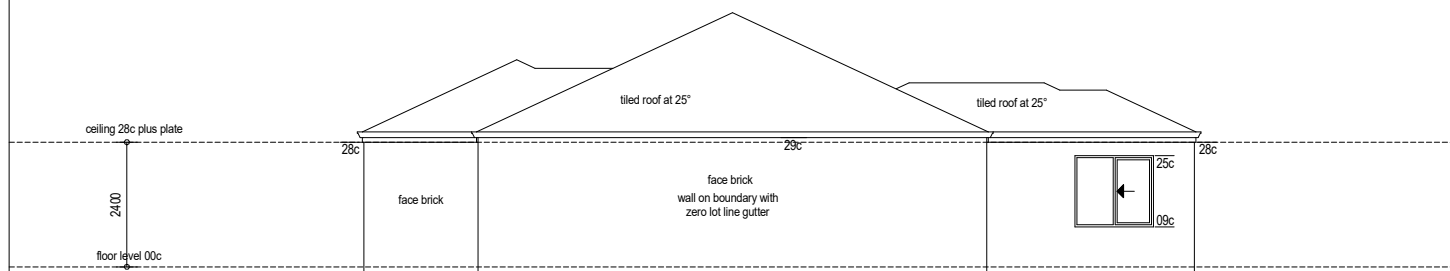


UNIT 14 FLOOR PLAN

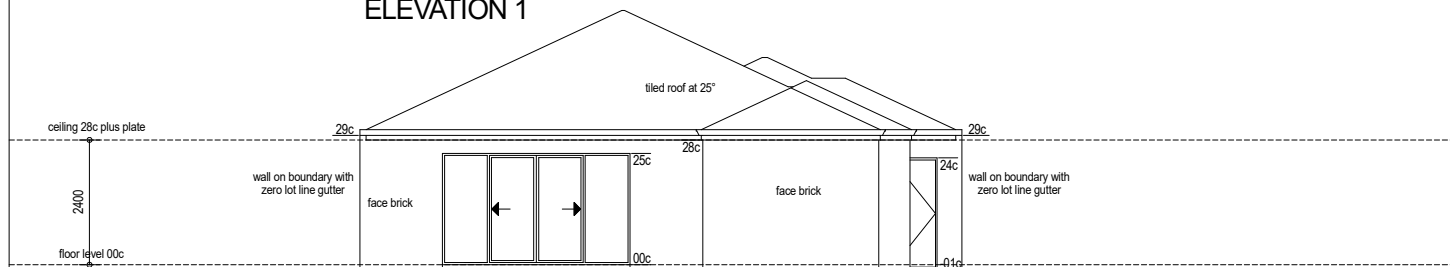
PROPOSED DEVELOPMENT
 18-20 Fifth Road, ARMADALE

Scale 1:100

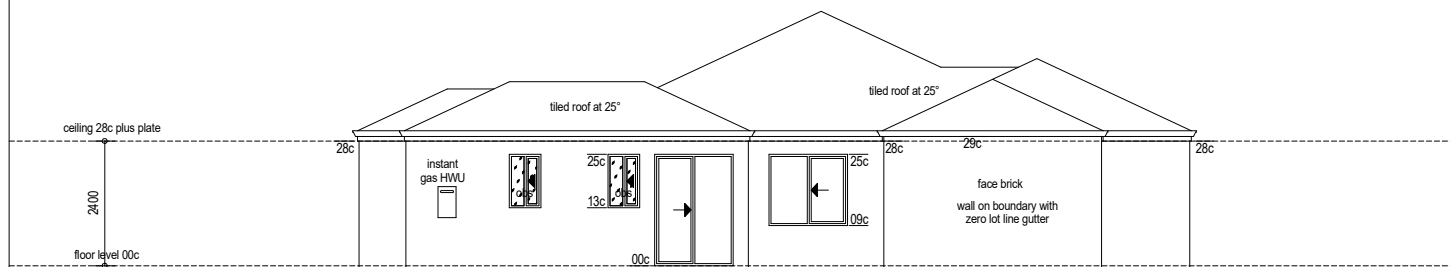
NOTE: ALL INTERNAL DIMENSIONS ARE TO BRICK SIZE ONLY NOT FINISHED SIZES



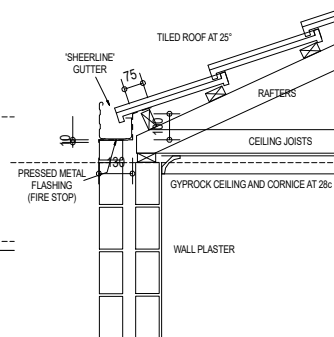
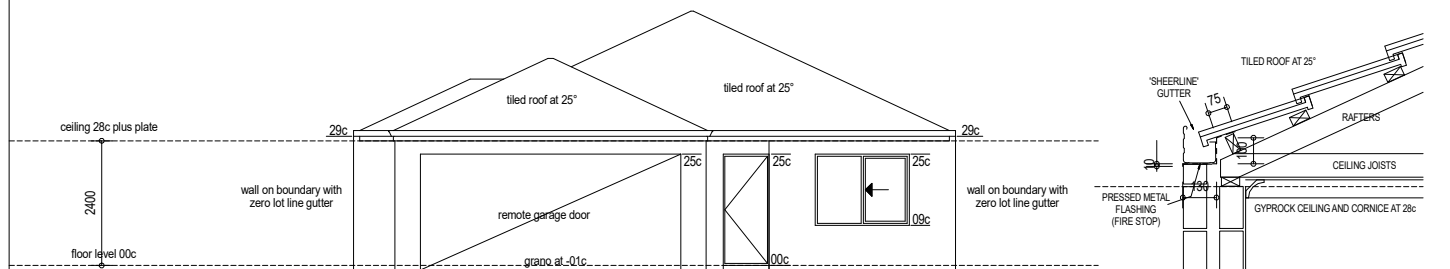
ELEVATION 1



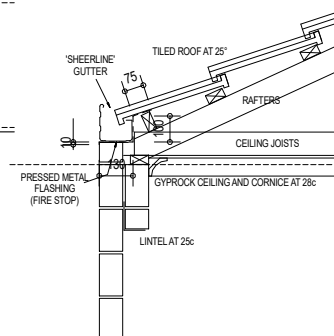
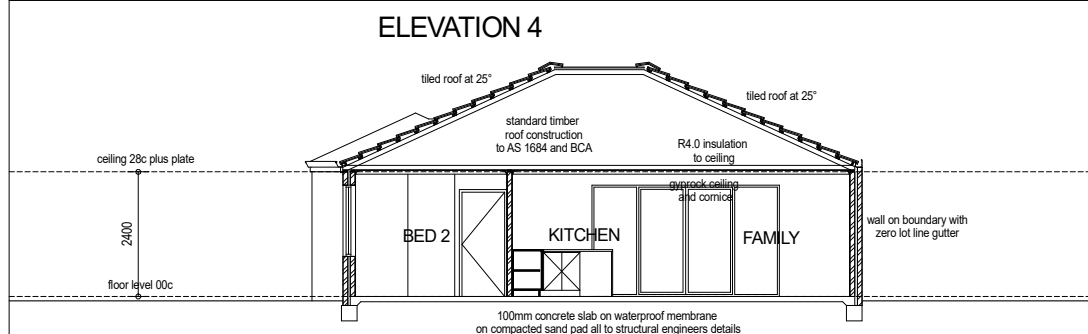
ELEVATION 2



ELEVATION 3



HOUSE BOUNDARY WALL DETAIL
SCALE 1:10



GARAGE BOUNDARY WALL DETAIL
SCALE 1:10

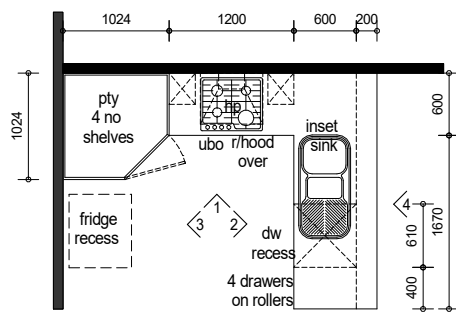
SECTION X-X

UNIT 14

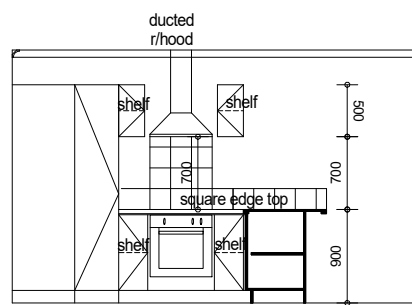
ELEVATIONS

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

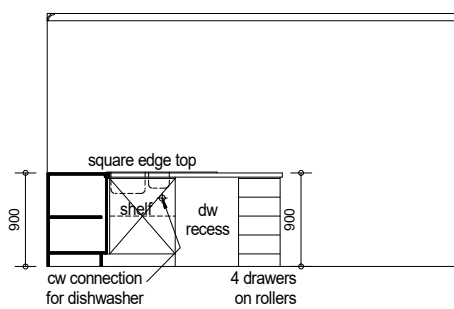
Scale 1:100



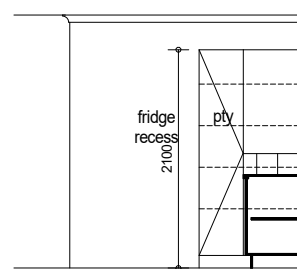
KITCHEN LAYOUT



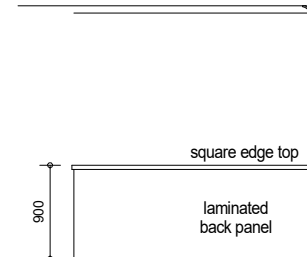
ELEVATION 1



ELEVATION 2

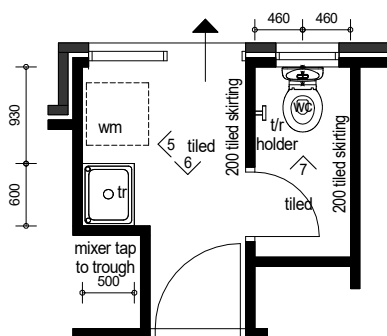


ELEVATION 3

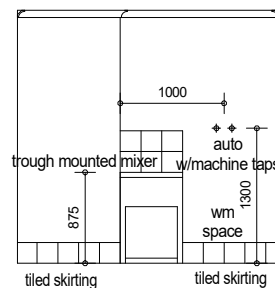


ELEVATION 4

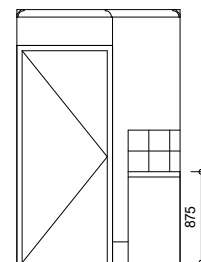
NOTE: SOFT CLOSER
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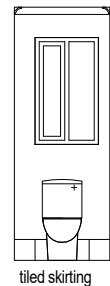
LAUNDRY/WC LAYOUT



ELEVATION 5

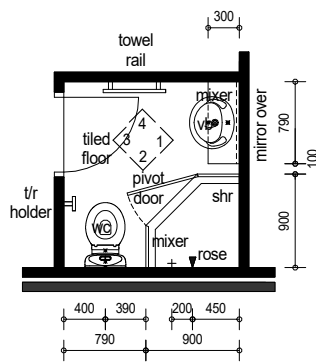


ELEVATION 6



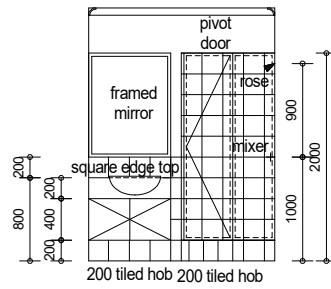
ELEVATION 7

UNIT 14 INTERNALS 1

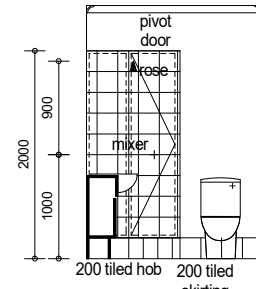


ENSUITE LAYOUT

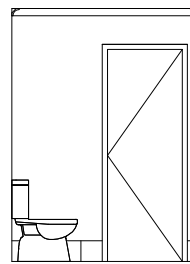
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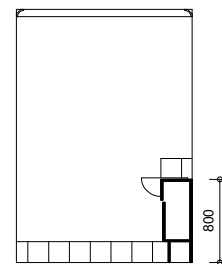
ELEVATION 1



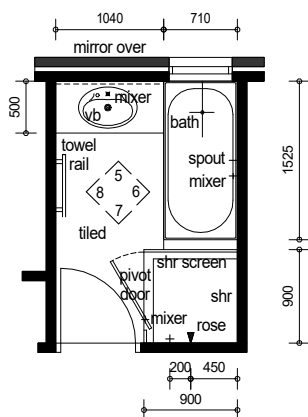
ELEVATION 2



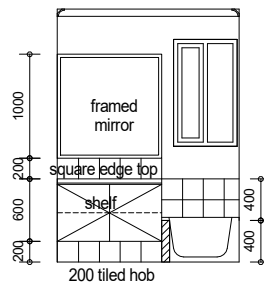
ELEVATION 3



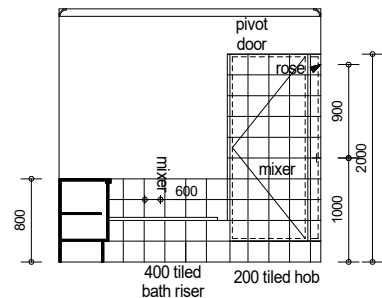
ELEVATION 4



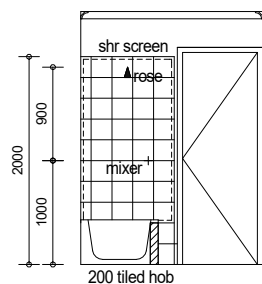
BATHROOM LAYOUT



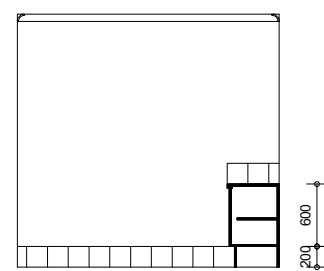
ELEVATION 5



ELEVATION 6



ELEVATION 7



ELEVATION 8

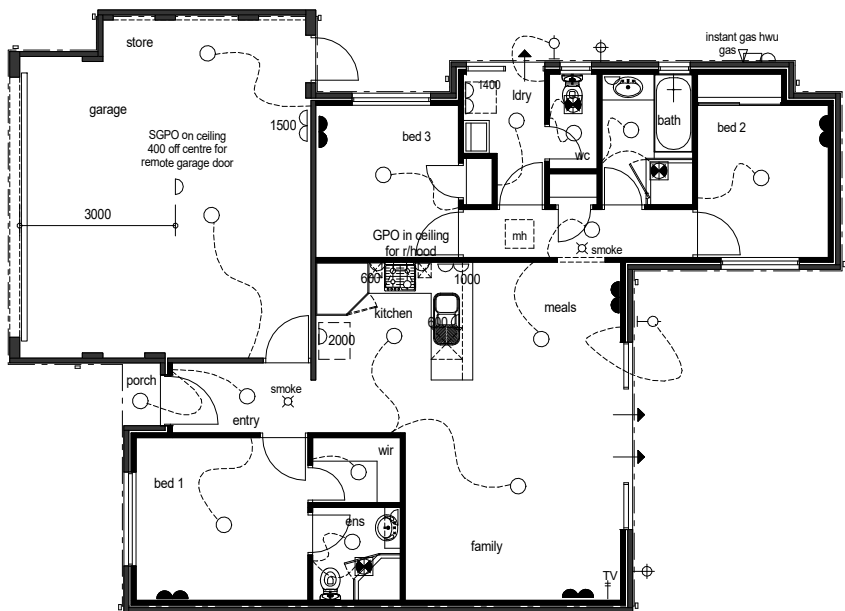
UNIT 14 INTERNALS 2

⊖	WALL LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⊖	EXHAUST FAN (FLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS CONNECTION POINT
●	CEILING LIGHT (FLUORO BULB - 12W = 60W HALOGEN)	⊖	EXHAUST FAN (UNFLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS NEGUS POINT
⊖	CEILING LIGHT (FLUORO BULB - 15W = 75W HALOGEN)	⊖	IXL TASTIC 3 IN 1	□ _{cv}	CEILING VENT
○	CEILING LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⊖	SINGLE GPO 300 ABOVE FL.	WY	WALL VENT
⊖	RECESSED DOWNLIGHT (LED = 15W)	⊖	DOUBLE GPO 300 ABOVE FL.	→ PH	PHONE POINT
⊖	FLUORO LIGHT SINGULAR 1200 (36W)	⊖	SINGLE GPO 900 ABOVE FL. (OR AS NOTED)	→ TV	TV POINT
⊖	WALL EXHAUST FAN	⊖	DOUBLE GPO 900 ABOVE FL. (OR AS NOTED)	⊖	SMOKE DETECTOR HARD WIRED TO AUST. STANDARD 3786

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BALCONY & ALFRESCO MAXIMUM WATTAGE ALLOWED = (00.00m² x 4W) = 000W
EXTERNAL LIGHTING (INCL PORCH) (MINIMUM 40 Lumens/Watt)

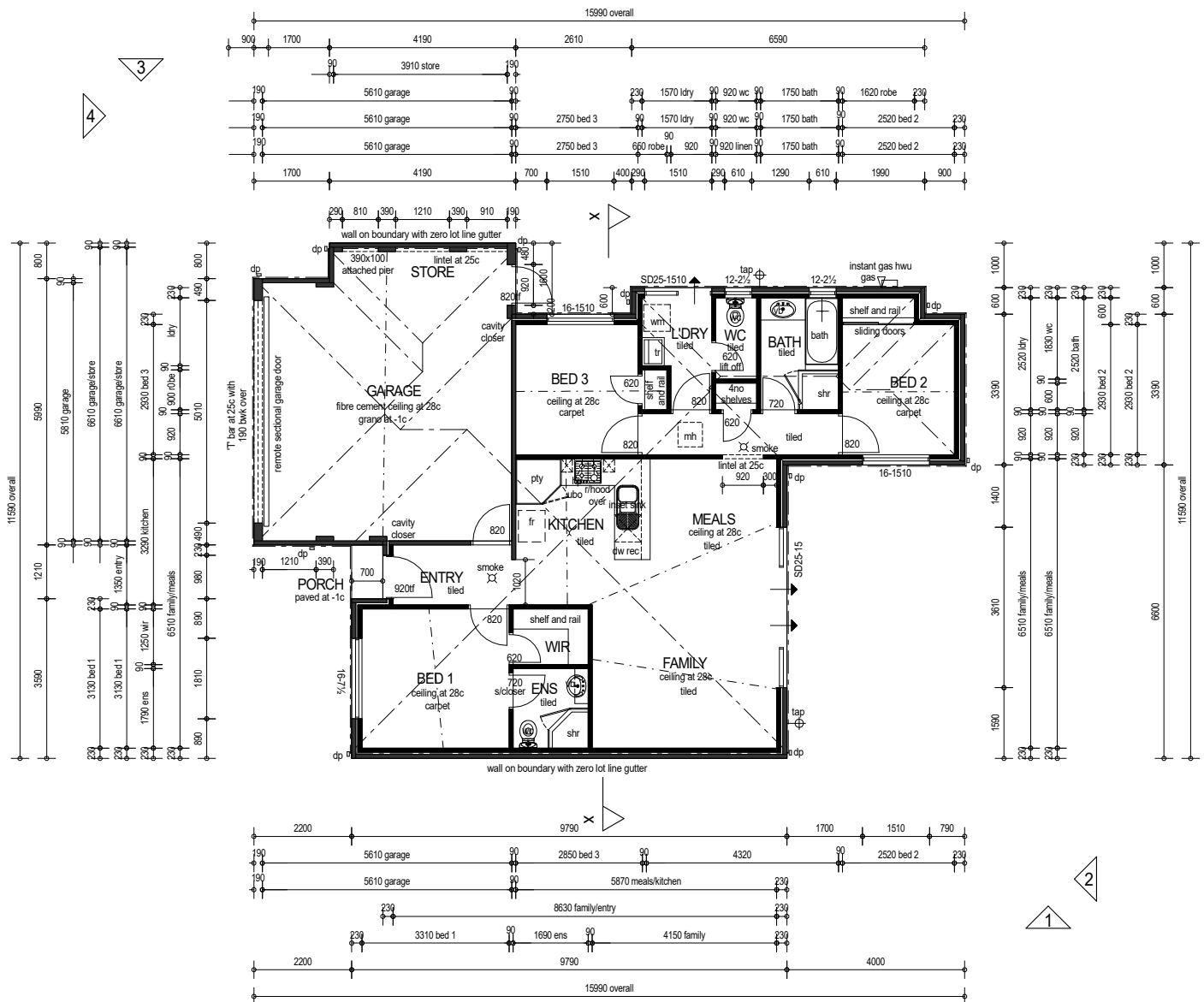
NOTE:
Light and fan positions may vary slightly to avoid roof structure over



UNIT 14
ELECTRICAL PLAN

Note:
 Face brick to be 290x162x90 laid in one third bond
 Carpet to all bedrooms and robes
 450sq tiles to kitchen, family, meals and entry
 Vertical blinds to all windows (excluding sliding doors)

HOUSE	96.05 m²
GARAGE/STORE	37.91 m²
PORCH	0.85 m²
TOTAL	134.81 m²
PERIMETER	48.76 m

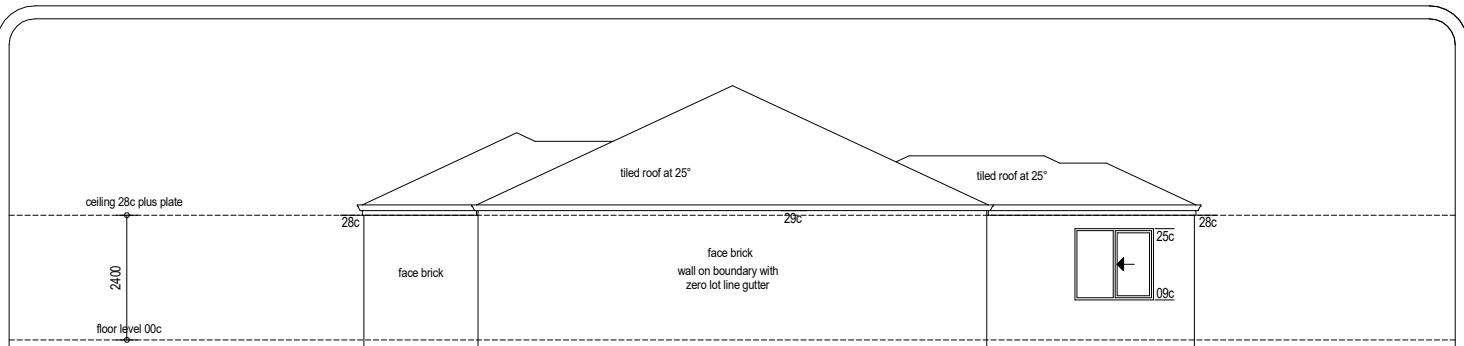


UNIT 15 FLOOR PLAN

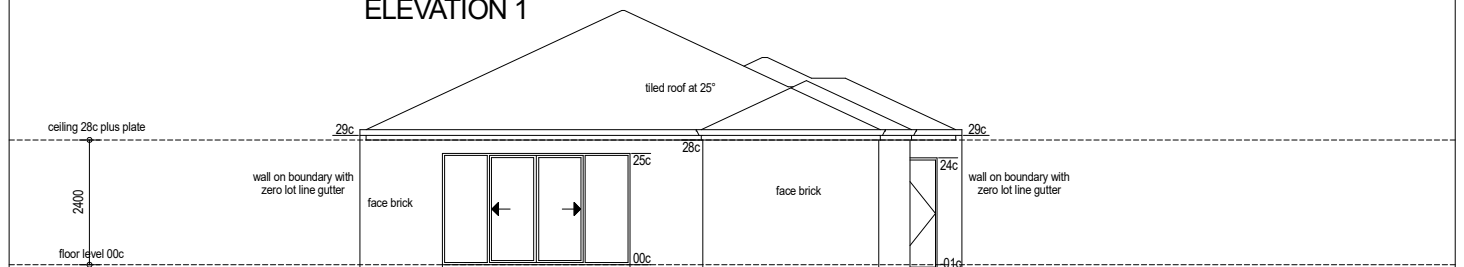
PROPOSED DEVELOPMENT
 18-20 Fifth Road, ARMADALE

Scale 1:100

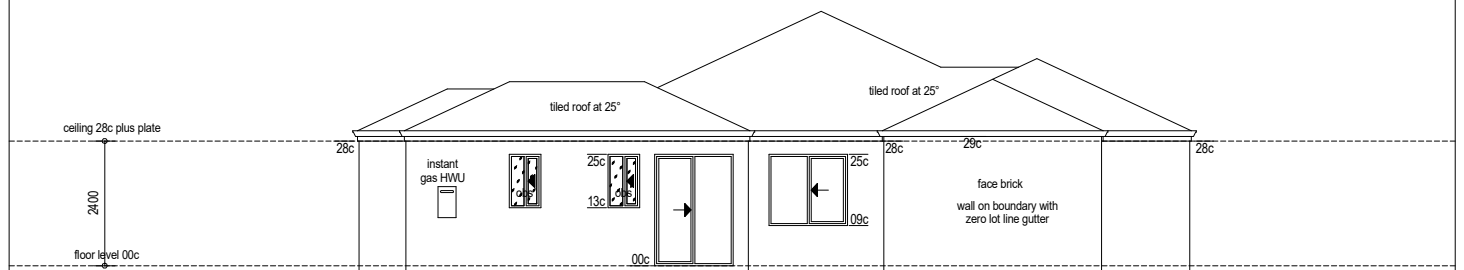
NOTE: ALL INTERNAL DIMENSIONS ARE TO BRICK SIZE ONLY NOT FINISHED SIZES



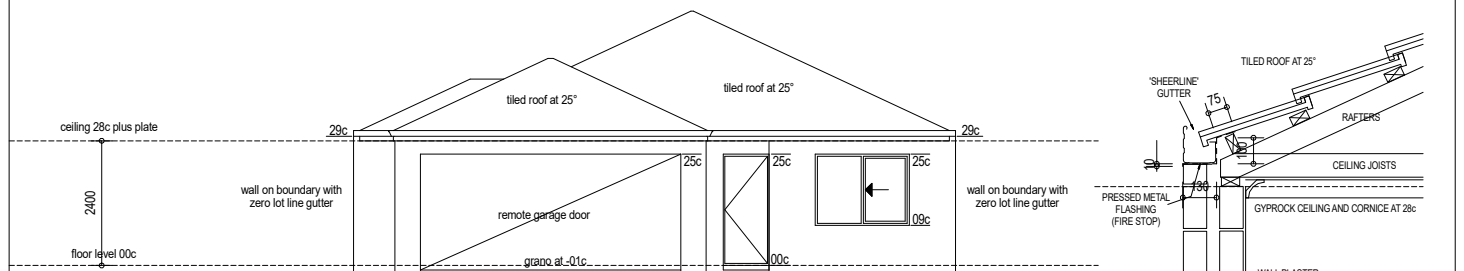
ELEVATION 1



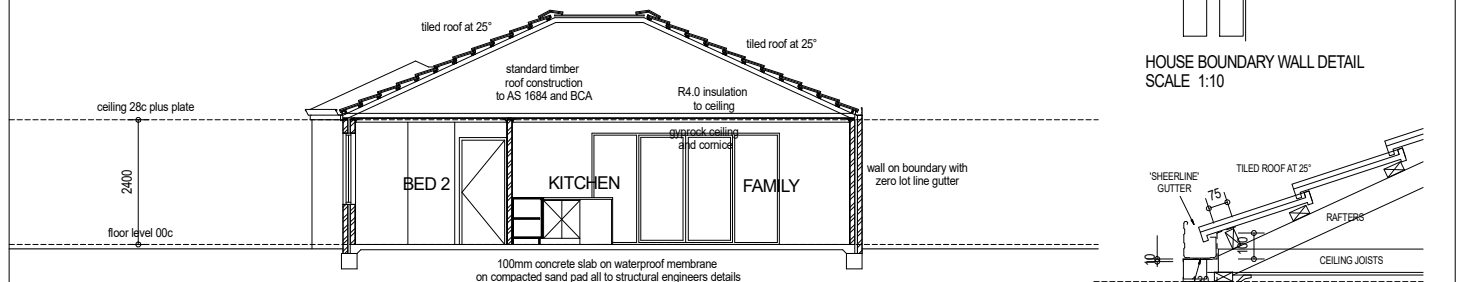
ELEVATION 2



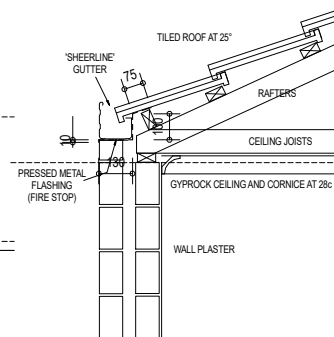
ELEVATION 3



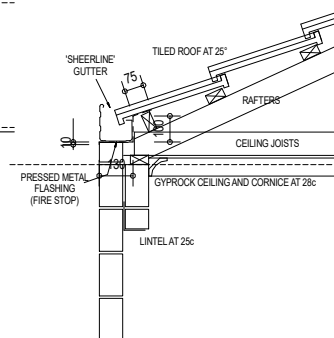
ELEVATION 4



SECTION X-X



HOUSE BOUNDARY WALL DETAIL
SCALE 1:10

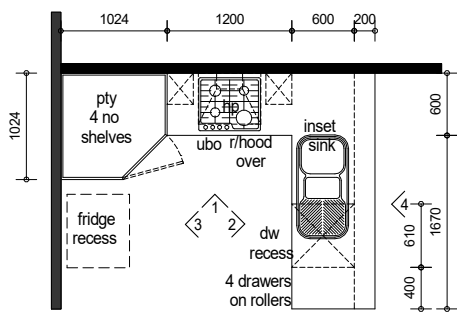


GARAGE BOUNDARY WALL DETAIL
SCALE 1:10

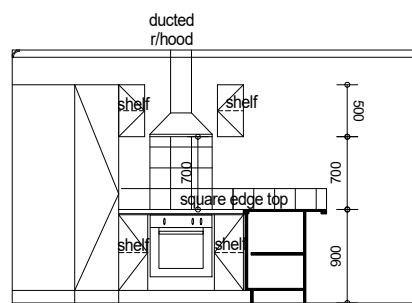
UNIT 15 ELEVATIONS

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

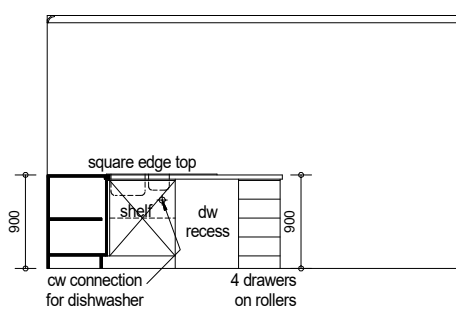
Scale 1:100



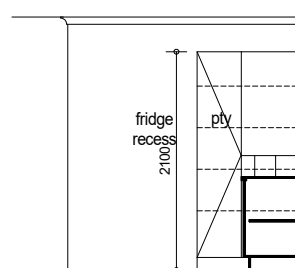
KITCHEN LAYOUT



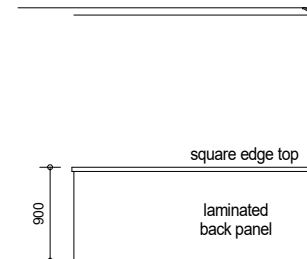
ELEVATION 1



ELEVATION 2

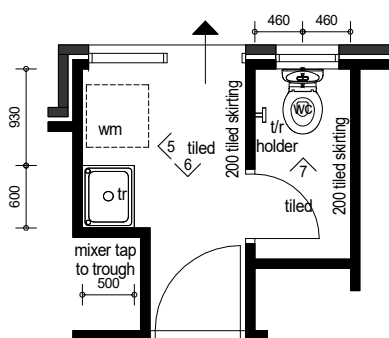


ELEVATION 3

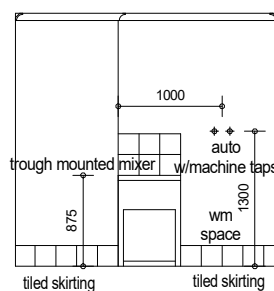


ELEVATION 4

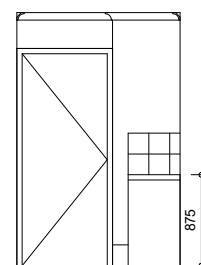
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



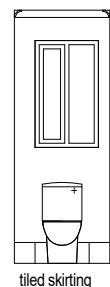
LAUNDRY/WC LAYOUT



ELEVATION 5

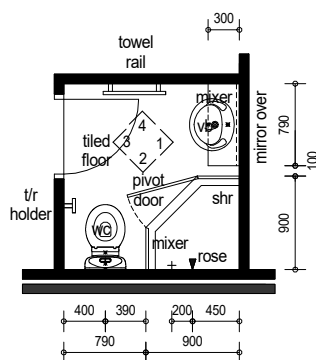


ELEVATION 6



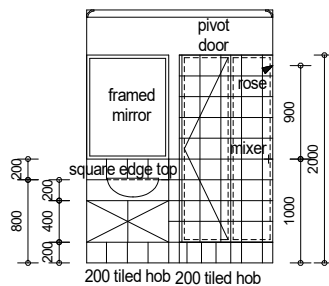
ELEVATION 7

UNIT 15 INTERNALS 1

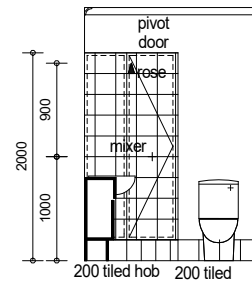


ENSUITE LAYOUT

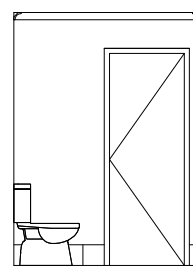
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



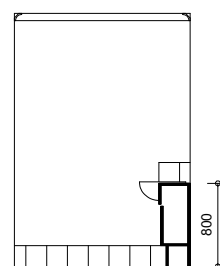
ELEVATION 1



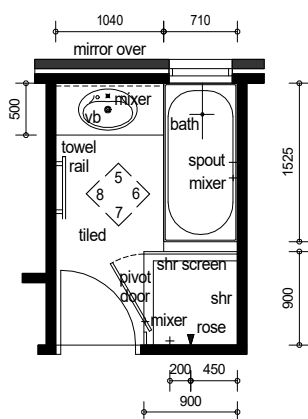
ELEVATION 2



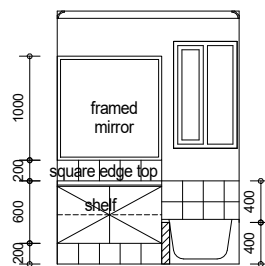
ELEVATION 3



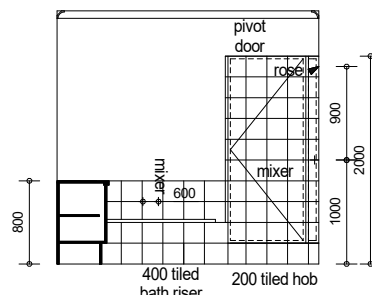
ELEVATION 4



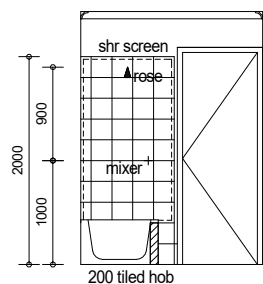
BATHROOM LAYOUT



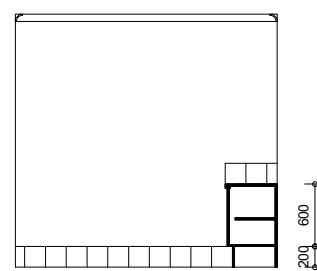
ELEVATION 5



ELEVATION 6



ELEVATION 7



ELEVATION 8

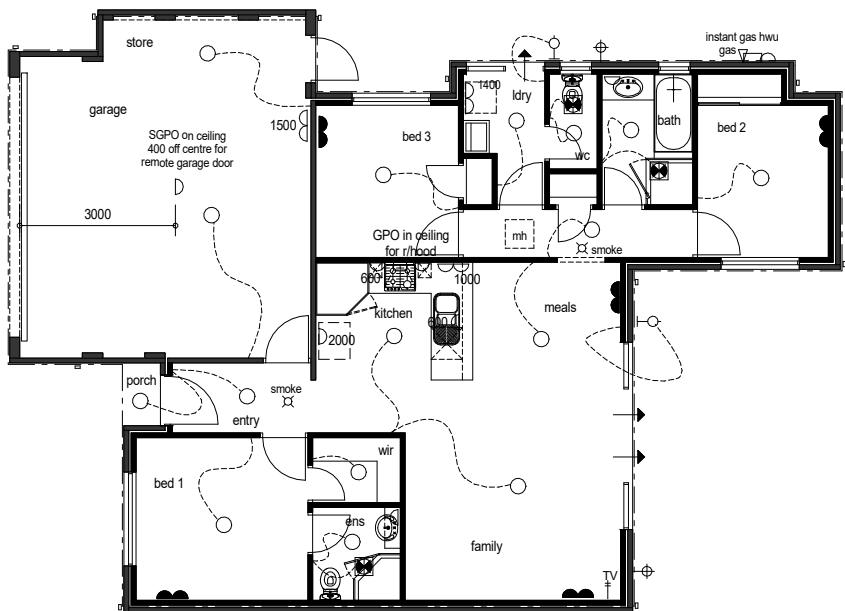
UNIT 15 INTERNALS 2

⊖	WALL LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⊗	EXHAUST FAN (FLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS CONNECTION POINT
●	CEILING LIGHT (FLUORO BULB - 12W = 60W HALOGEN)	⊗	EXHAUST FAN (UNFLUMED) WITH AUTO DAMPERS	▽ _{gas}	GAS NEGUS POINT
⊙	CEILING LIGHT (FLUORO BULB - 15W = 75W HALOGEN)	⊗	IXL TASTIC 3 IN 1	□ _{cv}	CEILING VENT
○	CEILING LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⬤	SINGLE GPO 300 ABOVE FL.	WY	WALL VENT
⊙	RECESSED DOWNLIGHT (LED = 15W)	⬤	DOUBLE GPO 300 ABOVE FL.	→ PH	PHONE POINT
⊖	FLUORO LIGHT SINGULAR 1200 (36W)	⬤	SINGLE GPO 900 ABOVE FL. (OR AS NOTED)	→ TV	TV POINT
⊗	WALL EXHAUST FAN	⬤	DOUBLE GPO 900 ABOVE FL. (OR AS NOTED)	⊗	SMOKE DETECTOR HARD WIRED TO AUST. STANDARD 3786

ARTIFICIAL LIGHTING REQUIREMENTS

HOUSE MAXIMUM WATTAGE ALLOWED = (86.14m² x 5W) = 430W
GARAGE & STORE MAXIMUM WATTAGE ALLOWED = (35.80m² x 3W) = 107W
BALCONY & ALFRESCO MAXIMUM WATTAGE ALLOWED = (00.00m² x 4W) = 000W
EXTERNAL LIGHTING (INCL PORCH) (MINIMUM 40 Lumens/Watt)

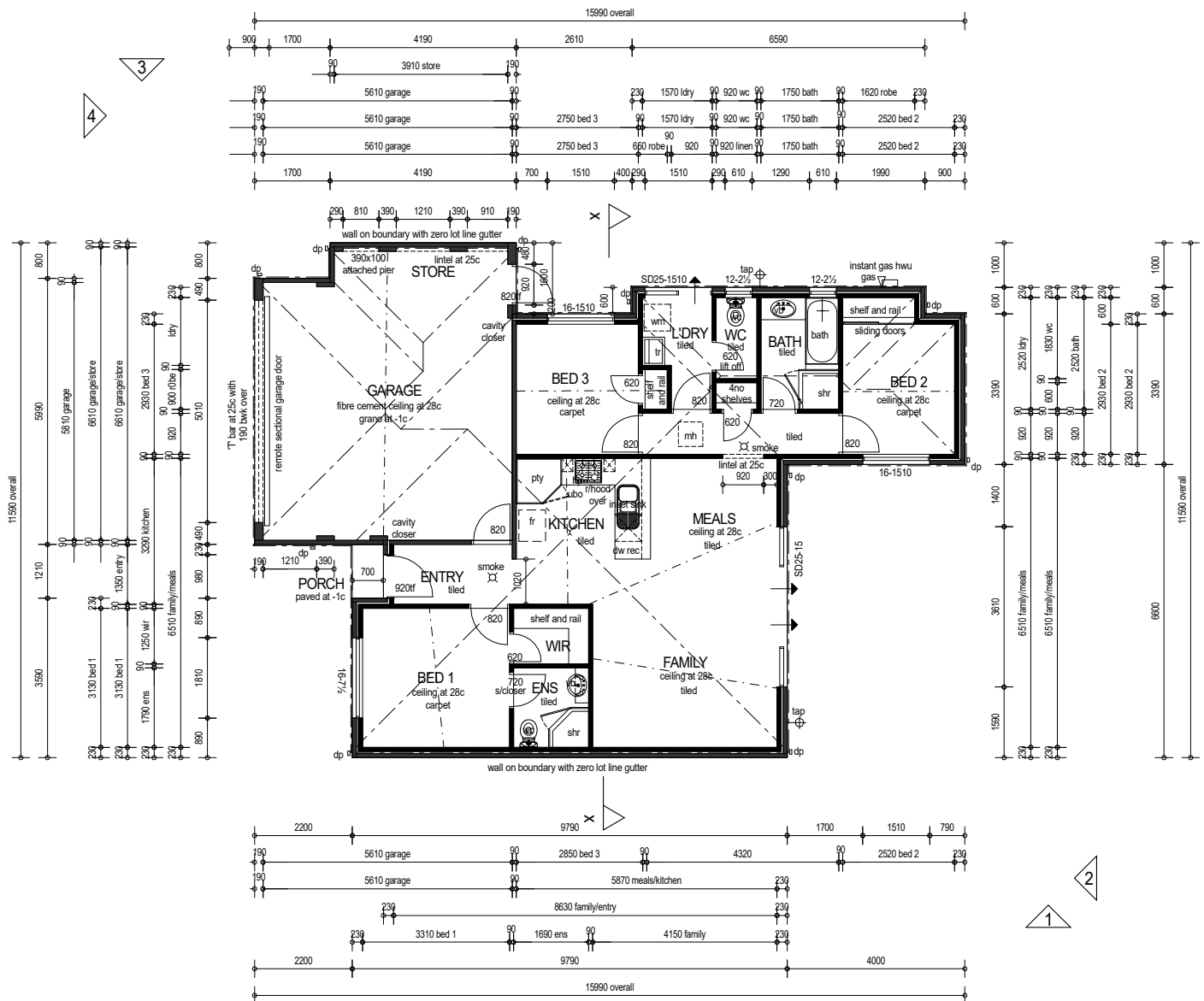
NOTE:
Light and fan positions may vary slightly to avoid roof structure over



UNIT 15
ELECTRICAL PLAN

Face brick to be 290x162x90 laid in one third bond
Carpet to all bedrooms and robes
450sq tiles to kitchen, family, meals and entry
Vertical blinds to all windows (excluding sliding doors)

HOUSE	96.05 m ²
GARAGE/STORE	37.91 m ²
PORCH	0.85 m ²
TOTAL	134.81 m ²
PERIMETER	48.76 m



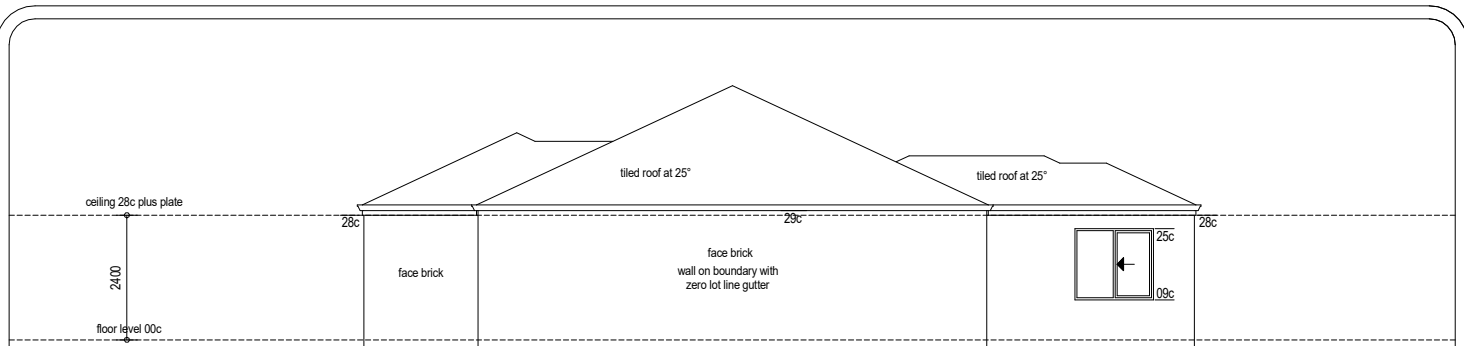
UNIT 16 FLOOR PLAN

PROPOSED DEVELOPMENT

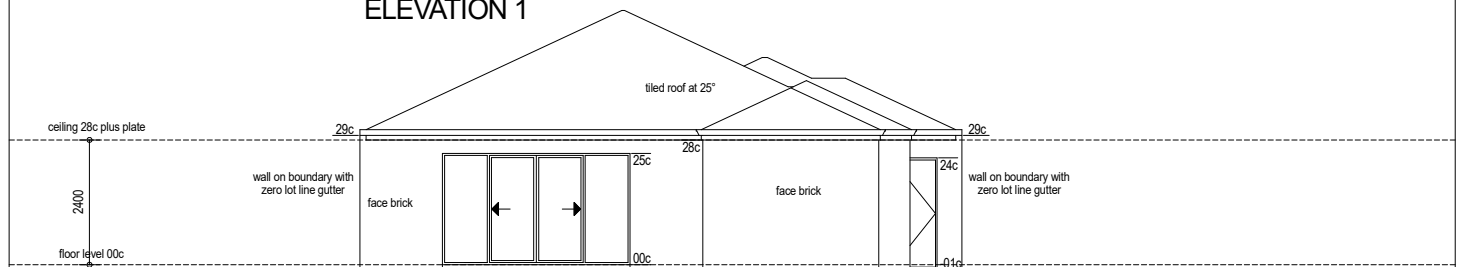
18-20 Fifth Road, ARMADALE

Scale 1:100

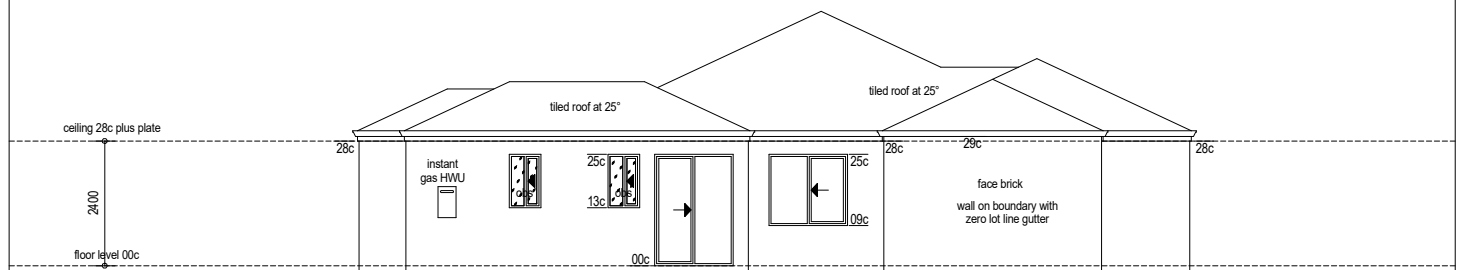
NOTE:ALL INTERNAL DIMENSIONS ARE TO BRICK SIZE ONLY NOT FINISHED SIZES



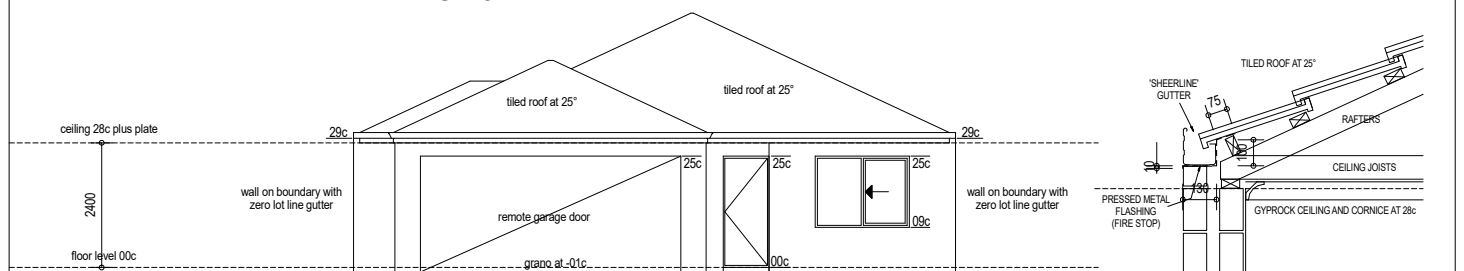
ELEVATION 1



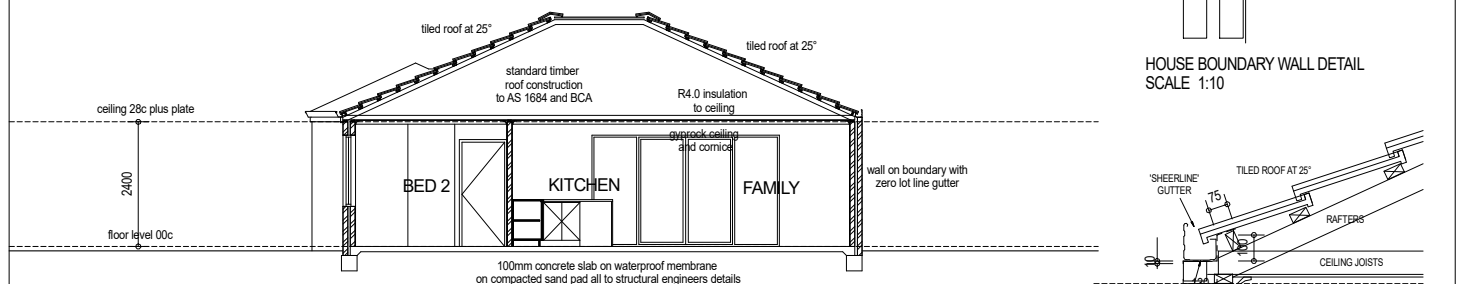
ELEVATION 2



ELEVATION 3

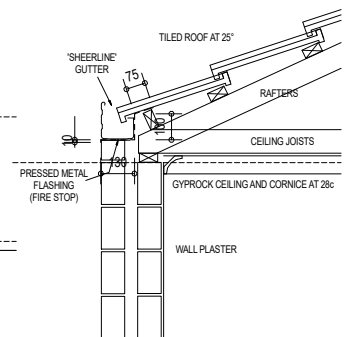


ELEVATION 4

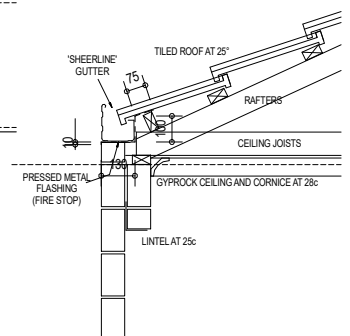


SECTION X-X

UNIT 16 ELEVATIONS



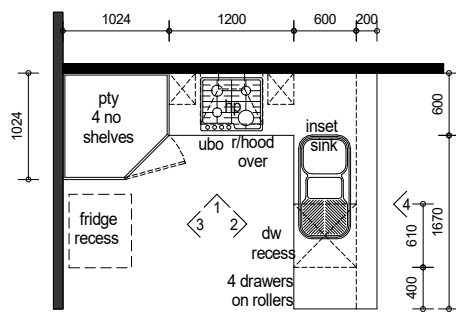
HOUSE BOUNDARY WALL DETAIL
SCALE 1:10



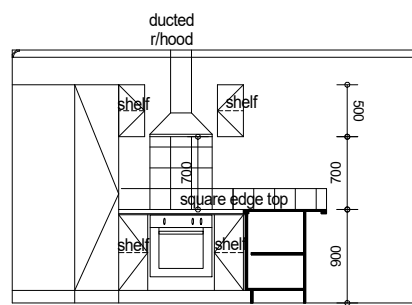
GARAGE BOUNDARY WALL DETAIL
SCALE 1:10

PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

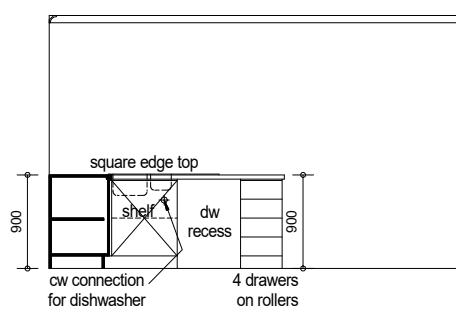
Scale 1:100



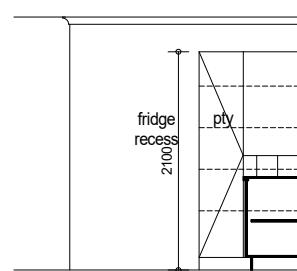
KITCHEN LAYOUT



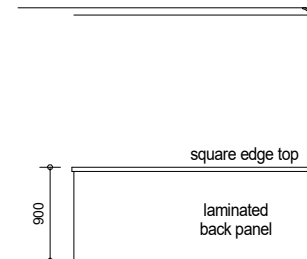
ELEVATION 1



ELEVATION 2

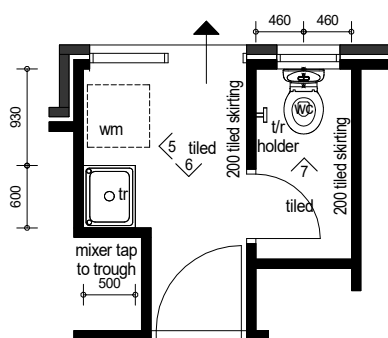


ELEVATION 3

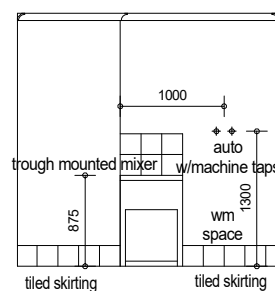


ELEVATION 4

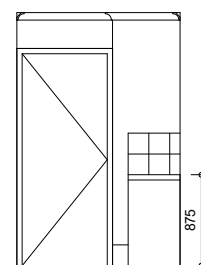
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



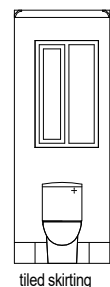
LAUNDRY/WC LAYOUT



ELEVATION 5

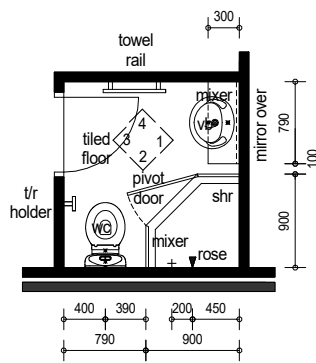


ELEVATION 6



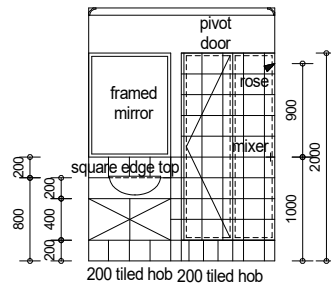
ELEVATION 7

UNIT 16 INTERNALS 1

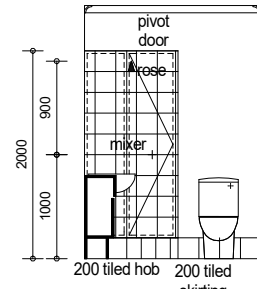


ENSUITE LAYOUT

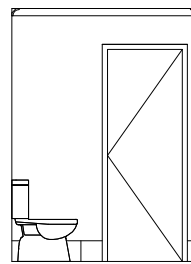
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



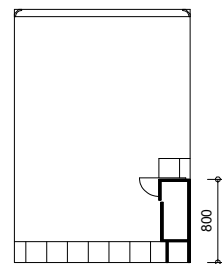
ELEVATION 1



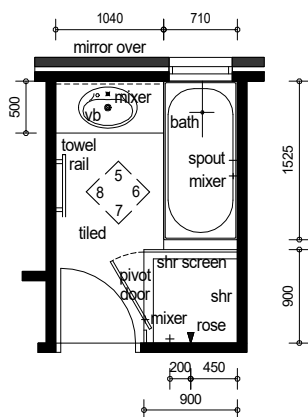
ELEVATION 2



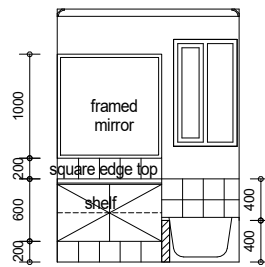
ELEVATION 3



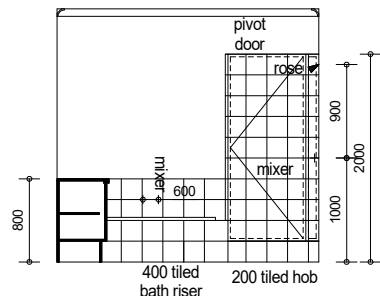
ELEVATION 4



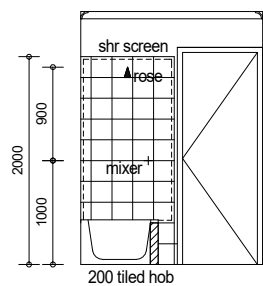
BATHROOM LAYOUT



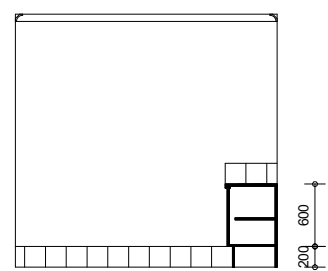
ELEVATION 5



ELEVATION 6



ELEVATION 7



ELEVATION 8

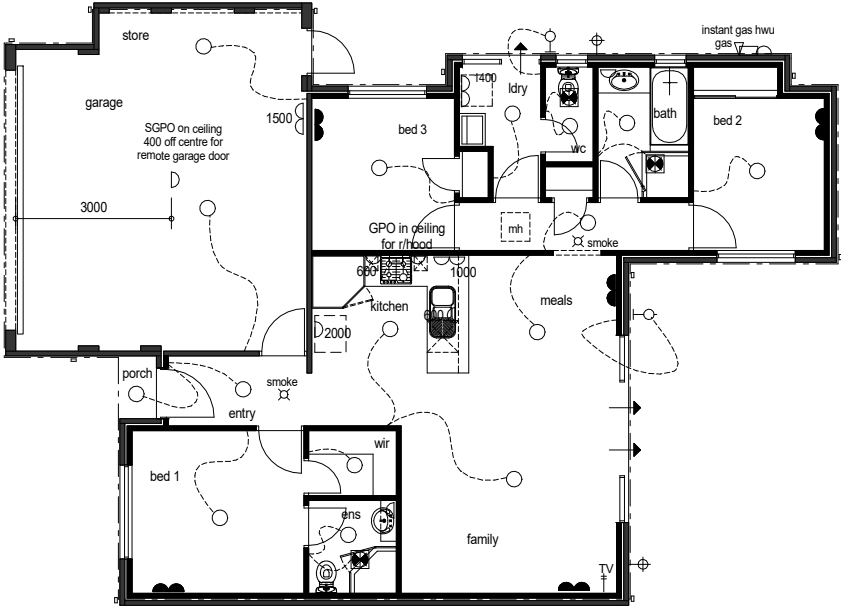
UNIT 16 INTERNALS 2

⊖	WALL LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⊗	EXHAUST FAN (FLUMED) WITH AUTO DAMPERS	▽ gas	GAS CONNECTION POINT
●	CEILING LIGHT (FLUORO BULB - 12W = 60W HALOGEN)	⊗	EXHAUST FAN (UNFLUMED) WITH AUTO DAMPERS	▽ gas	GAS NEGUS POINT
⊙	CEILING LIGHT (FLUORO BULB - 15W = 75W HALOGEN)	⊗	IXL TASTIC 3 IN 1	□ cv	CEILING VENT
○	CEILING LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	⌒	SINGLE GPO 300 ABOVE FL.	WY	WALL VENT
⊙	RECESSED DOWNLIGHT (LED = 15W)	⌒	DOUBLE GPO 300 ABOVE FL.	→ PH	PHONE POINT
⊖	FLUORO LIGHT SINGULAR 1200 (36W)	⌒	SINGLE GPO 900 ABOVE FL. (OR AS NOTED)	→ TV	TV POINT
⊗	WALL EXHAUST FAN	⌒	DOUBLE GPO 900 ABOVE FL. (OR AS NOTED)	⊗	SMOKE DETECTOR HARD WIRED TO AUST. STANDARD 3786

ARTIFICIAL LIGHTING REQUIREMENTS

HOUSE MAXIMUM WATTAGE ALLOWED = (86.14m² x 5W) = 430W
GARAGE & STORE MAXIMUM WATTAGE ALLOWED = (35.80m² x 3W) = 107W
BALCONY & ALFRESCO MAXIMUM WATTAGE ALLOWED = (00.00m² x 4W) = 000W
EXTERNAL LIGHTING (INCL PORCH) (MINIMUM 40 Lumens/Watt)

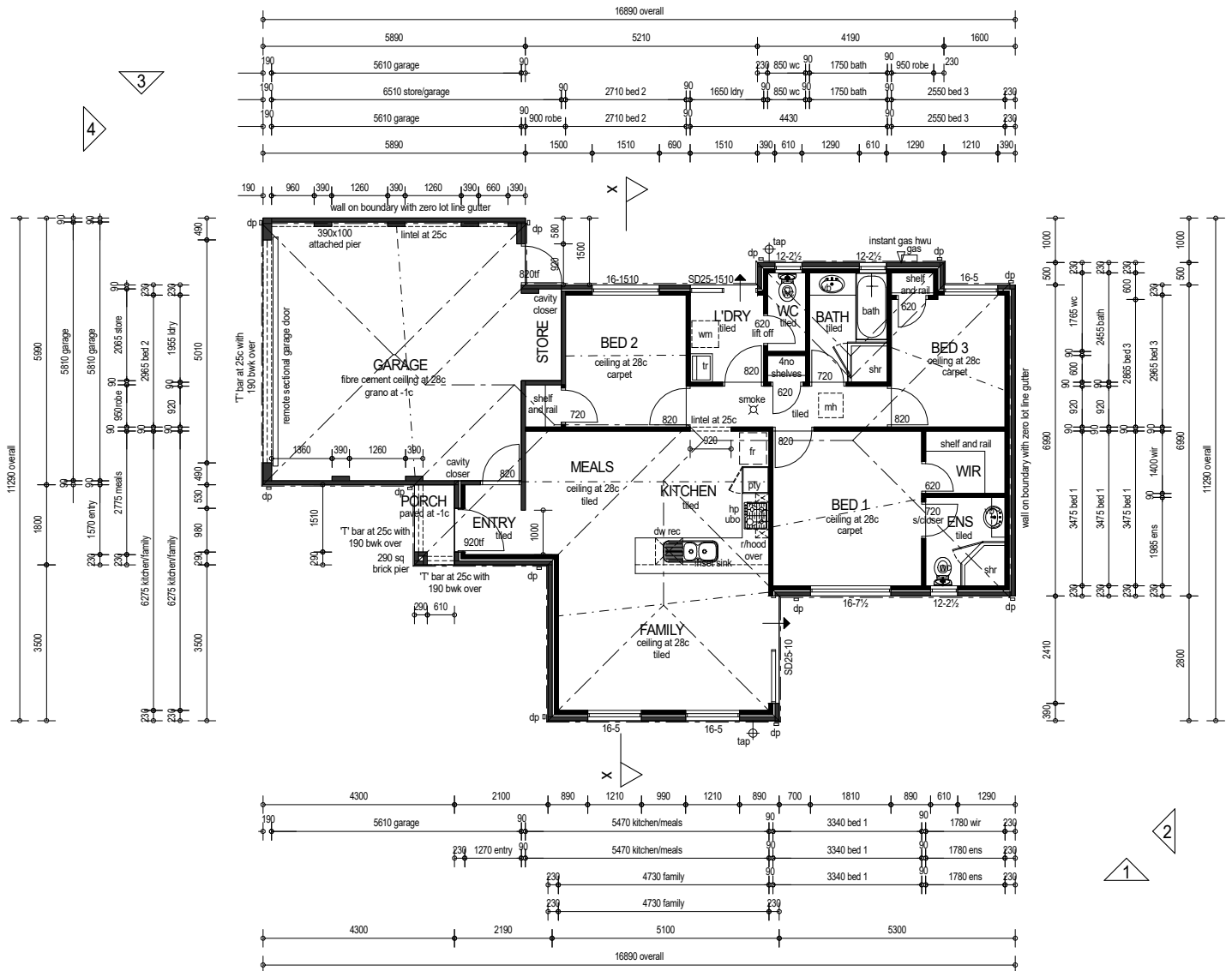
NOTE:
Light and fan positions may vary slightly to avoid roof structure over



UNIT 16
ELECTRICAL PLAN

Note:
 Face brick to be 290x162x90 laid in one third bond
 Carpet to all bedrooms and robes
 450sq tiles to kitchen, family, meals and entry
 Vertical blinds to all windows (excluding sliding doors)

HOUSE	94.62 m²
GARAGE/STORE	36.69 m²
PORCH	1.62 m²
TOTAL	132.93 m²
PERIMETER	45.76 m

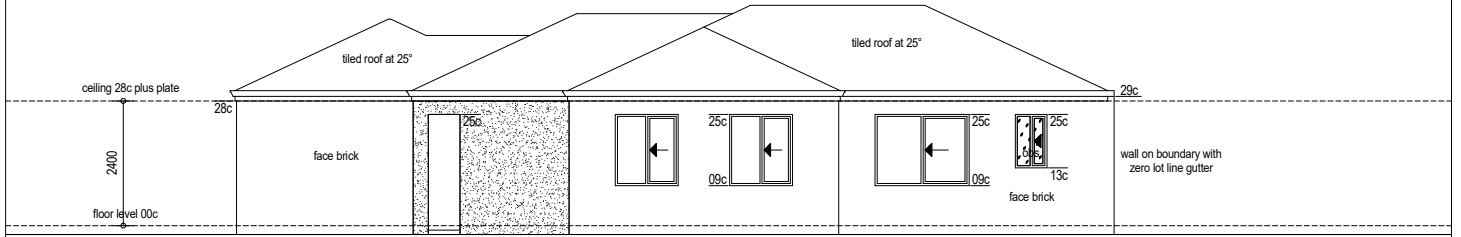


UNIT 17 FLOOR PLAN

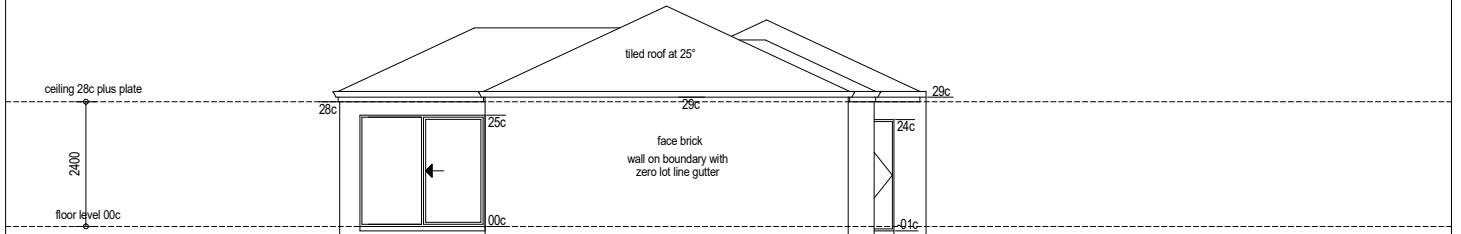
PROPOSED DEVELOPMENT
 18-20 Fifth Road, ARMADALE

Scale 1:100

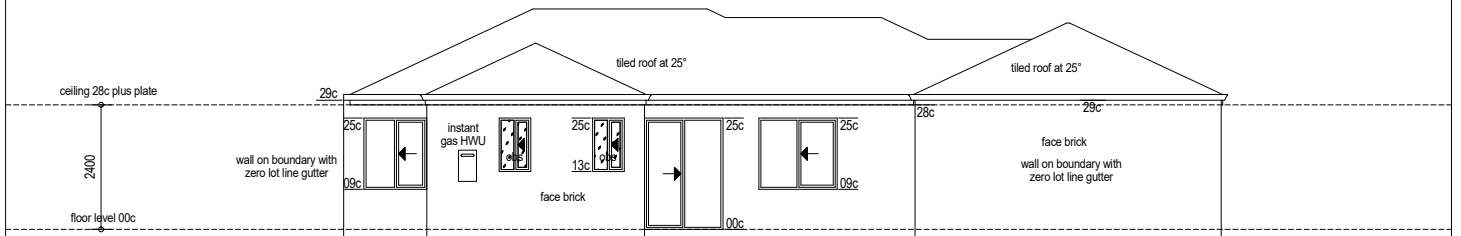
NOTE: ALL INTERNAL DIMENSIONS ARE TO BRICK SIZE ONLY NOT FINISHED SIZES



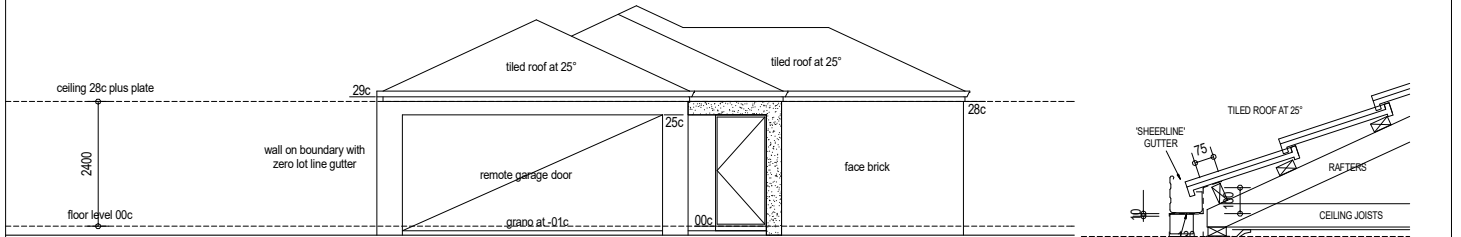
ELEVATION 1



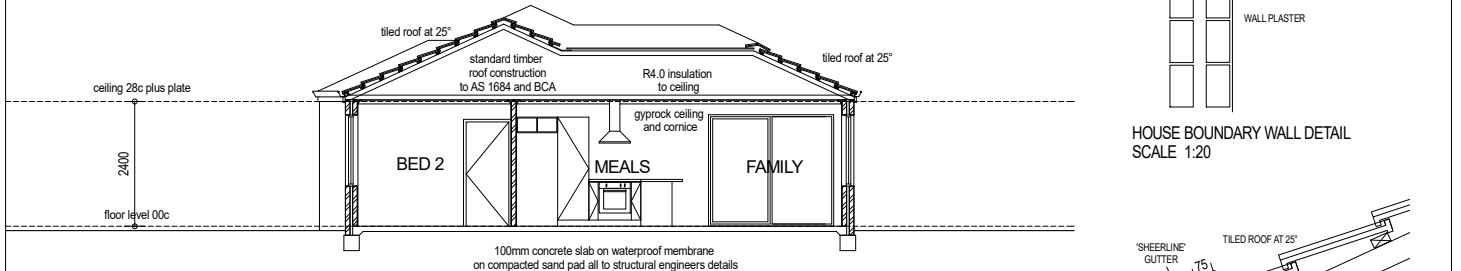
ELEVATION 2



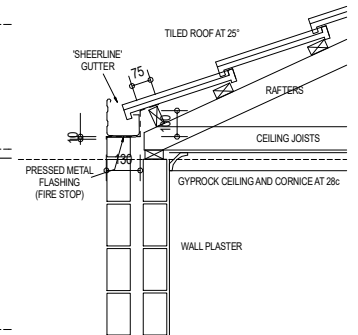
ELEVATION 3



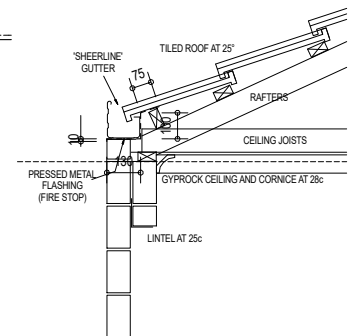
ELEVATION 4



SECTION X-X



HOUSE BOUNDARY WALL DETAIL
SCALE 1:20

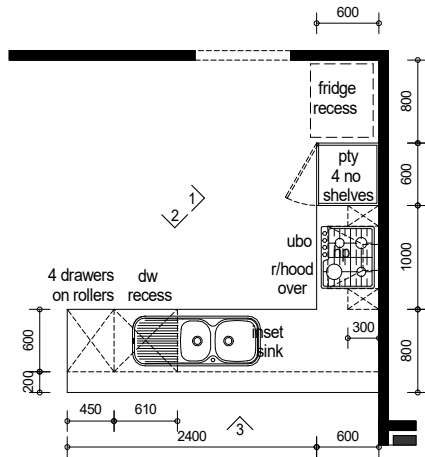


GARAGE BOUNDARY WALL DETAIL
SCALE 1:20

UNIT 17 ELEVATIONS

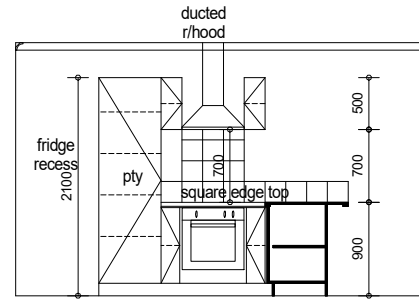
PROPOSED DEVELOPMENT
18-20 Fifth Road, ARMADALE

Scale 1:100

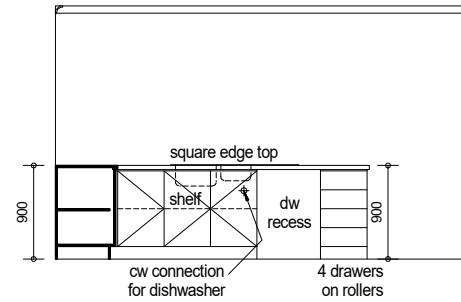


KITCHEN LAYOUT

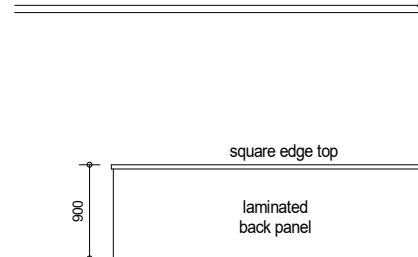
NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



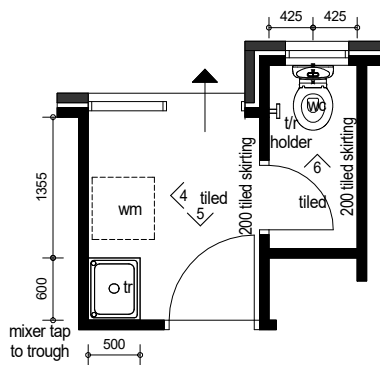
ELEVATION 1



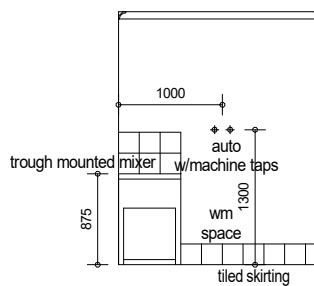
ELEVATION 2



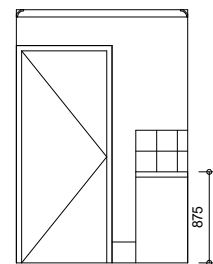
ELEVATION 3



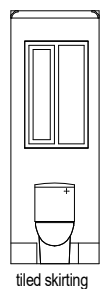
LAUNDRY/WC LAYOUT



ELEVATION 4

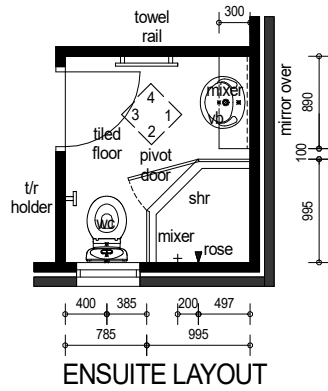


ELEVATION 5

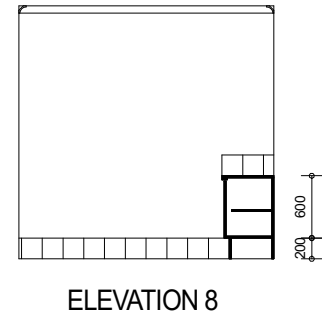
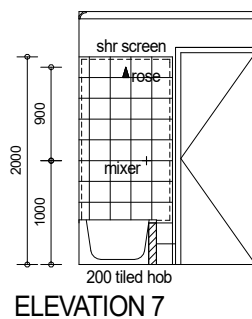
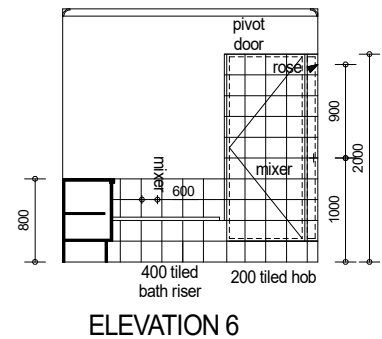
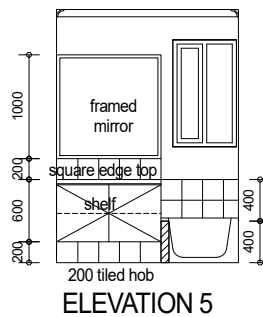
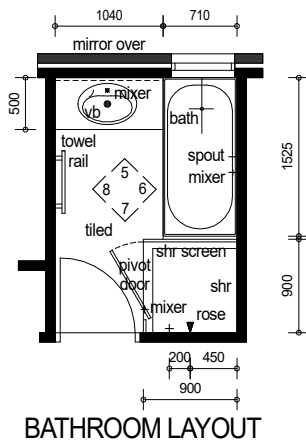
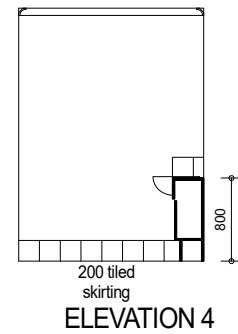
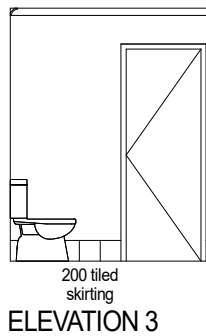
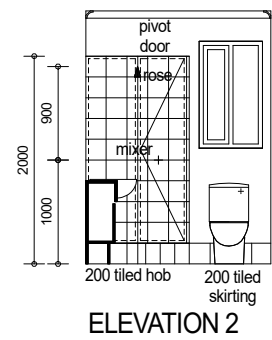
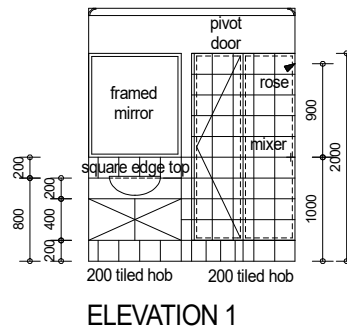


ELEVATION 6

UNIT 17 INTERNALS 1



NOTE: SOFT CLOSER
TO ALL DOORS & DRAWERS



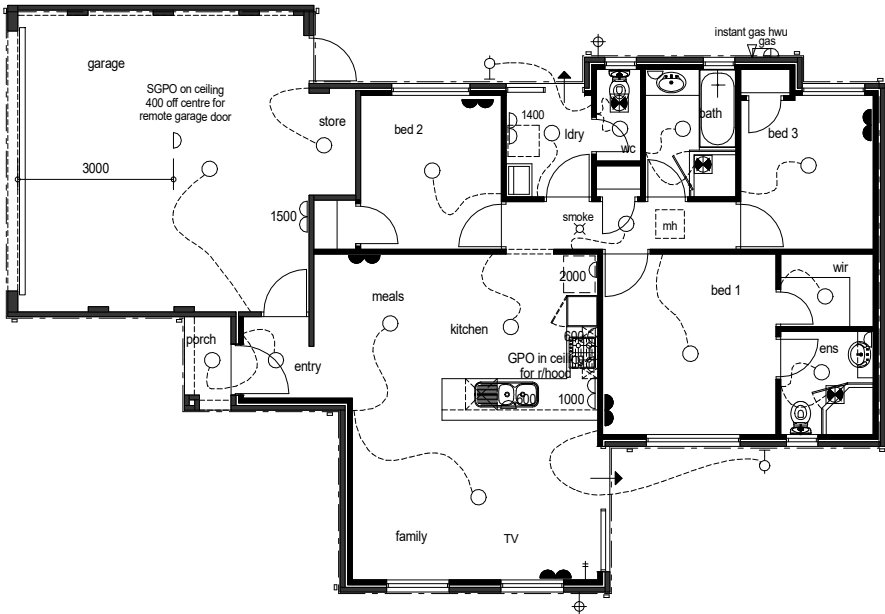
UNIT 17 INTERNALS 2

⊔	WALL LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	☒	EXHAUST FAN (FLUMED) WITH AUTO DAMPERS	▽gas	GAS CONNECTION POINT
●	CEILING LIGHT (FLUORO BULB - 12W = 60W HALOGEN)	☒	EXHAUST FAN (UNFLUMED) WITH AUTO DAMPERS	▽gas	GAS NEGUS POINT
①	CEILING LIGHT (FLUORO BULB - 15W = 75W HALOGEN)	☒	IXL TASTIC 3 IN 1	□cv	CEILING VENT
○	CEILING LIGHT (FLUORO BULB - 20W = 100W HALOGEN)	☒	SINGLE GPO 300 ABOVE FL.	WY	WALL VENT
⊙	RECESSED DOWNLIGHT (LED = 15W)	☒	DOUBLE GPO 300 ABOVE FL.	→ PH	PHONE POINT
—	FLUORO LIGHT SINGULAR 1200 (36W)	☒	SINGLE GPO 900 ABOVE FL. (OR AS NOTED)	→ TV	TV POINT
☒	WALL EXHAUST FAN	☒	DOUBLE GPO 900 ABOVE FL. (OR AS NOTED)	⌘	SMOKE DETECTOR HARD WIRED TO AUST. STANDARD 3786

ARTIFICIAL LIGHTING REQUIREMENTS

HOUSE MAXIMUM WATTAGE ALLOWED = (85.24m² x 5W) = 426W
GARAGE & STORE MAXIMUM WATTAGE ALLOWED = (34.45m² x 3W) = 103W
BALCONY & ALFRESCO MAXIMUM WATTAGE ALLOWED = (00.00m² x 4W) = 000W
EXTERNAL LIGHTING (INCL PORCH) (MINIMUM 40 Lumens/Watt)

NOTE:
Light and fan positions may vary slightly to avoid roof structure over



UNIT 17
ELECTRICAL PLAN